

PROPOSED RESIDENCE AT 5708 VISTA TERRACE LANE

A 2019 NFPA 13-D sprinkler system is required for this residence.

Plans Reviewed for Conformance
SBLD21-22136

Division
Date Reviewer Conditions

Building 7/15/2021 J. Viviano Yes
Planning 10/28/2021 J. Cummins

Fire 6/30/2021 F. Marvitz Yes

Engineering 10/7/2021 J. Thomas

Health
Environ. Control
Public Works

Any fences or retaining walls will require a separate permit

BUILDING CODES:

2018 INTERNATIONAL BUILDING CODE (STRUCTURAL ONLY)

♦ 2018 INTERNATIONAL RESIDENTIAL CODE

2018 NORTHERN NEVADA AMENDMENTS

 ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CODES, STANDARDS, ORDINANCES AND LAWS ADOPTED BY THE CITY OF SPARKS, NEVADA.

DEFERRED SUBMITTALS:
IRON STAIRS AT
EXTERIOR TO DECK

BY ACCEPTING THESE DOCUMENTS AND ENTERING INTO A CONTRACT TO BUILD THE PROJECT TO WHICH THEY PERTAIN, THE CONTRACTOR OR BUILDER ACKNOWLEDGES THAT HE HAS REVIEWED THE PLANS FOR ACCURACY AND INCLUSION OF ALL REQUIRED CURRENT, PERTINENT, AND APPLICABLE CODE REQUIREMENTS AND LOCAL ORDINANCES. IN ORDER TO MINIMIZE THE COST OF INCORPORATING ANY ITEMS NOT INCLUDE IN THESE DOCUMENTS, BUT REQUIRED, THE CONTRACTOR CERTIFIES THAT HE WILL NOTIFY THE ARCHITECT OR RESIDENTIAL DESIGNER OF RECORD, OF ANY STRUCTURAL OR NON-STRUCTURAL CLEARANCES, VENTILATION, OR OTHER CODE-REQUIRED ELEMENTS NOT INCLUDED WITHIN THESE CONSTRUCTION DOCUMENTS, PRIOR TO THE CONSTRUCTION OF ANY AREA AFFECTED BY COMPLIANCE WITH THE PERTINENT CODE OR ORDINANCE OR REQUIREMENT. THE CONTRACT FURTHER ACKNOWLEDGES THAT ANY AND ALL REQUIREMENTS PERTAINING TO THIS PROJECT SET FORTH BY SUBDIVISIONS GUIDELINES OR HOMEOWNER ASSOCIATIONS OR APPLICABLE C.C. & R'S SHALL BE INCLUDED IN THE CONTRACTORS BID, WHETHER INCLUDED IN THESE DOCUMENTS OR NOT, AND WILL BE INCORPORATED BY THE CONTRACTOR INTO THE PROJECT FOR WHICH THESE DOCUMENTS APPLY.

ABBREVIATIONS:

ASTM AMERICAN STANDARDS OF TESTING MATERIALS
ETC. ETCETERA

MAX. MAXIMUM

MIN. MINIMUM M.C. MOISTURE CONTENT

NRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION P.S.I. POUNDS PER SQUARE INCH

P.S.I. POUNDS PER SQUARE INCH
R.C. RESILIEBT CHANNEL
U.L. UNDERWRITERS LABORATORY

V.N.O. UNLESS NOTED OTHERWISE TYP. TYPICAL

O.C. ON CENTER

A.F.F. ABOVE FINISHED FLOOR

SPARKS BLVD.

PROJECT LOCATION

VISTA TERRACE LN.

LOS ALTOS PKWY.

LOS ALTOS PKWY.

PROJECT INFORMATION:

ADDRESS: 5708 VISTA TERRACE LANE, SPARKS, NV. 89436 A.P.N. 518-23-692-01

OCCUPANCY GROUP: R-3/U

FIRE SUPPRESSION: NO

FIRE SUPPRESSION: NO

PLANS ARE BASED ON NAVD 1988 VERTICAL DATUM

WILDLAND URBAN INTERFACE CODE FIRE RATING: MODERATE HAZARD CONSTRUCTION TO CONFORM TO IR3

3,744 SQ. FT. RESIDENCE: **BASEMENT:** 1,803 SQ. FT. GARAGE: 1,646 SQ. FT. VIEW DECK: 972 SQ. FT. COVERED ENTRY: 121 SQ. FT. COVERED TERRACE: 229 SQ. FT. TERRACE: 530 SQ. FT. WALKWAY: 127 SQ. FT. COVERED REAR PATIO: 251 SQ. FT. DINING PATIO: 242 SQ. FT.

PLANS & ENGINEER:

INFINITY ENGINEERING, INC. 2135 GREEN VISTA DRIVE, SUITE #107 SPARKS, NV. 89431 (775) 333-5211

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No. Description

1 PLAN CHECK 07/08/2021

3 PLAN CHECK 10/18/2021

5 GREEN VISTA DRIVE, SUITE# 107 ARKS, NEVADA 89431 -333-5211 (PHONE) IAIL: INFINITYRENO@GMAIL.COM





10/18/2021 GNED ELECTRONICALLY

3 VISTA TERRAC

工厂

5

VE

Project Number 18–1224

Date JUNE 2021

Drawn By CF

Checked By WA

AO.O

Scale As indicated

PLUMBING

- THE LABOR, EXECUTION AND MATERIALS REQUIRED FOR ALL PLUMBING WORK AS INDICATED IN THE DRAWINGS SHALL BE IN ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF THE LATEST ADOPTED EDITION OF THE UNIFORM PLUMBING CODE
- PROVIDE ALL LABOR AND MATERIALS TO INSTALL PLUMBING AND ACCESSORIES, COMPLETE, IN PLACE AND AS SHOWN ON THE DRAWINGS OR AS SPECIFIED HEREIN, AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION. WORK TO INCLUDE BUT LIMITED TO: (A.) ALL SOIL, WASTE AND VENT PIPING FROM NEW FIXTURES TO EXISTING SEWER LINES. (B.) ALL DOMESTIC HOT AND COLD WATER PIPING FROM NEW WATER HEATER TO ALL NEW FIXTURES- INCLUDING RE-ROUTING OF EXISTING PLUMBING TO NEW AND EXISTING FIXTURES, IF NEEDED. (C.) RELOCATE EXISTING GAS 2. METER AND MAIN GAS LINE AND CONNECTION TO ALL NEW AND EXISTING APPLIANCES REQUIRING GAS SERVICE. (D.) PROVIDE AND INSTALL ALL APPLIANCES, FIXTURES, FITTINGS, EQUIPMENT AND ALL OTHER RELATED PLUMBING ITEMS SHOWN ON DRAWINGS, SPECIFIED HEREIN OR AS NEEDED FOR A COMPLETE AND PROPER JOB. (E.) PROVIDE ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED, WHICH CAN BE REASONABLY INFERRED OR TAKEN AS BELONGING TO THE 3. WORK OF THIS SECTION AND NECESSARY TO PROVIDE A COMPLETE, INSTALLED SYSTEM.
- ALL MATERIALS SHALL BE NEW. NO GALVANIZED METAL PIPE. ABOVE GRADE DOMESTIC WATER SERVICE SHALL BE TYPE M, COPPER PIPING WITH EXTRUDED COPPER FITTINGS. SOLDER JOINTS WITH 50/50 ANTIMONY SOLDER (NO LEAD). SOIL, WASTE, VENT PIPING SHALL BE NO-HUB CAST IRON PIPE AND FITTINGS, OR PLASTIC PIPE, CONFORMING TO ASTM D-2665-73, SCHEDULE 40, IF ASTM D-2665-73, SCHEDULE 40, IF, SCHEDULE 40, IF SCHEDULE 40, IF, IF LOCALLY ACCEPTABLE. ALL INTERIOR ANGLESTOPS, SUPPLY TUBES, ESCUTCHEON, COVER PLATES AND OTHER MISCELLANEOUS FITTINGS SHALL BE OF CHROME PLATED BRASS.
- FINISH MATERIALS SHALL BE BY ALLOWANCE. ALL OTHER MATERIALS SHALL BE AS SELECTED BY CONTRACTOR AND APPROVED BY OWNER.
- PIPE FLASHING FOR ALL ROOF PENETRATIONS SHALL EXCEED 12" AROUND PIPE AND FOLD INTO TOP OF PIPE.
- PROVIDE 6" AIR CHAMBERS AT THE END OF ALL RUNS OF WATER PIPING AT THE FIXTURES. PIPING SHALL BE PROPERLY GRADUATED AND ARRANGED SO THAT THE USING OF WATER IN ANY FIXTURE WILL NOT INTERFERE WITH THE SUPPLY OF THE OTHER FIXTURES. USE 3/4" PIPE FOR RUNS LONGER 6. THAN FIVE FEET OR WHERE MORE THAN ONE FIXTURE IS SUPPLIED. USE 1" PIPE FOR OVER THREE FIXTURES. PROVIDE ACCESSIBLE CUTOFFS FOR WATER SUPPLY LINES AT ALL FIXTURES.
- ALL PIPING TO BE HIDDEN IN WALLS, FLOORS, CEILINGS, CRAWL SPACES OR BELOW GRADE. PITCH FOR ALL DRAINAGE AND VENT PIPING TO BE A MINIMUM OF 1/8" PER FOOT.
- ALL FIXTURES TO BE VENTED- COLLECT VENTING WHEREVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS.
- MAKE NO COPPER TO STEEL CONNECTIONS WITHOUT THE USE OF AN APPROVED CONNECTOR, EPCO OR EQUIVALENT. USE ALSO AT WATER HEATER.
- ADEQUATELY SUPPORT ALL PIPING TO PREVENT SAGGING, FALLING OR VIBRATION. USE INSULATED HANGERS FOR ALL WATER PIPING, AND 1/2" HAIR FELT WHERE PIPING TOUCHES FRAMEWORK.
- SECURE WATER HEATER TO THE NEAREST SUPPORT WALL WITH METAL "PLUMBERS TAPE". RUN PRESSURE RELIEF VALVE PIPE TO OUTSIDE OF HOUSE.
- ALL HOT WATER LINES TO BE INSULATED AS PER ENERGY REQUIREMENTS.
- CLEANOUTS SHALL BE INSTALLED AS REQUIRED AND SHALL BE ACCESSIBLE.
- REMOVE OR MAKE ACCESSIBLE ALL AREAS REQUIRED FOR THE INSTALLATION OF ALL PLUMBING WORK - PATCH, REPAIR OR REPLACE THOSE AREAS TO CONFORM TO THEIR ORIGINAL CONDITIONS. DO NOT MAKE CUTS IN ANY STRUCTURAL MEMBER EXCEPT AS PRESCRIBED BY CODE
- PRIOR TO COMPLETION OF WORK, PRESSURE TEST ALL LINES FOR INDICATION OF LEAKS.

- 1. IF APPLICABLE, REMOVE EXISTING SHINGLES IN AREAS TO BE WORKED ON. REMOVE, REPAIR AND /OR REPLACE ANY DAMAGED, RUSTING OR OTHER FLASHING MATERIALS THAT ARE NOT IN A CONDITION ACCEPTABLE FOR INSTALLATION OF NEW ROOFING. FIELD INSPECT, REPAIR AND / OR REPLACE ANY MOISTURE DAMAGED ROOF DECKING/ SUBSTRATE IN WORK AREA. FIELD INSPECT, REPAIR AND / OR REPLACE ANY DAMAGED SOFFIT IN WORK AREA. FIELD REPAIR, INSPECT AND / OR REPLACE ANY DAMAGED OR LEAKING GUTTERS AND DOWN SPOUTS IN WORK AREA – PAINT TO MATCH EXISTING. REPLACE ANY DAMAGED OR MISSING SHINGLES TO WHERE APPROPRIATE IN WORK AREA.
- INSTALL UNDERLAYMENT, FLASHING AND SHINGLES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, THE LATEST ADOPTED EDITION OF THE I.R.C. AND THE NRCA STEEP ROOFING MANUAL. INSURE NO WORK IS DONE THAT WOULD VOID THE MANUFACTURER'S WARRANTEE. PROVIDE OWNER WITH MANUFACTURER'S WRITTEN GUARANTEE OF MATERIAL
- CONTRACTOR SHALL SELECT SHINGLES (WITH OWNER'S APPROVAL) TO MATCH THE EXISTING SHALL BE ASPHALT SATURATED FELT IN THICKNESS AS REQUIRED BY MANUFACTURER OF SHINGLE. ROOFING NAILS SHALL BE HOT DIPPED GALVANIZED OR ALUMINUM, SHARP POINTED, CONVENTIONAL BARBED SHANK ROOFING NAILS, 3/8" DIA. HEAD OF SUFFICIENT LENGTH TO PENETRATE THROUGH SHEATHING.
- PLACE ALL PLYWOOD SHEATHING WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND CONTINUOUSLY OVER AT LEAST TWO SUPPORTS. CENTER ALL JOINTS ACCURATELY OVER SUPPORTS. 8. STAGGER THE END JOINTS OF PLYWOOD PANELS TO ACHIEVE A MINIMUM OF CONTINUITY OF JOINTS. NAIL PER PLANS.
- FORM FLASHING TO PROTECT ROOFING MATERIALS FROM PHYSICAL DAMAGE AND SHED WATER, FROM SECTIONS IN MAXIMUM POSSIBLE LENGTHS, FREE FROM DISTORTION OR DEFECTS. HEM exposed edges of flashing a minimum of 1/4 inch on underside. Verify that plumbing STACKS AND OTHER ROOF PENETRATIONS ARE FLASHED TO DECK SURFACE. PLACE EAVE AND GABLE END METAL FLASHING TIGHT WITH FASCIA BOARDS. WEATHER LAP JOINTS AND SEAL WITH PLASTIC CEMENT. SECURE FLANGE WITH NAILS.
- INSTALL UNDERLAYMENT PERPENDICULAR TO SLOPE OF ROOF. PLACE ONE PLY OF UNDERLAYMENT OVER UNPROTECTED AREA WITH ENDS WEATHER LAPPED AND NAILED. STAGGER END LAPS OF EACH CONSECUTIVE LAYER. SEAL ITEMS PROJECTING THROUGH ROOF WATER TIGHT USING WEATHER LAP WITH PLASTIC CEMENT.
- OPEN VALLEYS: PLACE ONE LAYER OF SHEET METAL FLASHING, MINIMUM OF 24" WIDE, CENTERED OVER OPEN VALLEYS AND CRIMPED TO GUIDE WATER. WEATHER LAP JOINTS MINIMUM OF 4" AND NAIL IN PLACE. CLOSED VALLEYS: REINFORCE VALLEY WITH TWO LAYERS OF SMOOTH ROLL ROOFING (40 TO 50 LB PER SQUARE). THE FIRST LAYER IS 12" WIDE, AND THE SECOND 24" WIDE. LIGHTLY NAIL AT THE OUTSIDE EDGE. STRIP SHINGLES ON ONE SLOPE ARE ALLOWED TO RUN THROUGH THE VALLEY AND UP THE OPPOSITE SLOPE. DO NOT ALLOW ANY END JOINTS OF THE SHINGLES TO FALL IN THE VALLEY. TRIM SHINGLES TO ONE SIDE ONLY 2 TO 3 INCHES FROM THE CENTER LINE. KEEP ALL NAILING 9 TO 12 INCHES AWAY FROM THE CENTER LINE OF THE VALLEY. GUM ALL CUT EDGES OF SHINGLES TO THE VALLEY BASE MATERIAL AND TO EACH OTHER.

- PROVIDE ALL LABOR AND MATERIALS TO INSTALL WOOD FLOORING, COMPLETE, IN PLACE AND AS SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN, AND AS NEEDED FOR A COMPLETE AND PROPER installation.
- FINISH FLOORING: BY ALLOWANCE: UNDERLAYMENT: AS REQUIRED BY FLOORING MANUFACTURER. NAILING: AS REQUIRED BY FLOORING MANUFACTURER. BASE: MATCH EXISTING BASEBOARD. STYLE AND COLOR TO BE SELECTED BY OWNER.
- INSTALL FLOORING ONLY AFTER ALL FINISHING OPERATIONS, INCLUDING PAINTING, HAVE BEEN COMPLETED. ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. PRIOR TO LAYING FLOOR, BROOM CLEAN OR VACUUM ENTIRE AREA.
- LAY FLOOR IN PATTERN SHOWN ON THE DRAWINGS, OR IN THE SAME MANNER OF EXISTING FLOORING IF APPLICABLE. START IN THE CENTER OF ROOM USING PRINCIPLE WALLS AS A GUIDE. SCRIBE AROUND ALL OBSTRUCTIONS, CARRY INTO DOORWAYS, TOE SPACES, ETC. BUTT AS RECOMMENDED BY THE MANUFACTURER TO PRODUCE NEAT JOINTS, LAID TIGHT AND EVEN AND IN PARALLEL LINES, OR SYMMETRICAL ANGLES- WHICHEVER APPLIES. BLIND NAIL BOARDS WHENEVER POSSIBLE. LEAVE 5/8" GAP BETWEEN FLOORING AND WALL SURFACES WHERE BASEBOARDS ARE TO BE INSTALLED. BUTT TIGHT TO OTHER SURFACES.
- 5. COMPLETELY SAND FLOOR TO A SMOOTH, EVEN SURFACE AND TO REMOVE ALL DELETERIOUS MARKS OR ABRASIONS. SEAL JOINTS WITH A MIXTURE OF LINSEED OIL AND MATCHING SAWDUST. APPLY STAIN AND SEALER IN AN APPROPRIATE MANNER IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. APPLY MINIMUM OF FOUR COATS OF FINISH.
- **RESILIENT FLOORING** PROVIDE ALL LABOR AND MATERIALS TO INSTALL RESILIENT FLOORING AND UNDERLAYMENT, COMPLETE, IN PLACE AND AS SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN, AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
- FINISH FLOORING: BY ALLOWANCE: UNDERLAYMENT: AS REQUIRED BY FLOORING MANUFACTURER. ADHESIVES: AS REQUIRED BY FLOORING MANUFACTURER. BASE: STOCK RUBBER, PAINTING BASE COVE. COLOR TO BE SELECTED BY OWNER.
- PRIOR TO START OF LAYING FLOORING, BROOM CLEAN OR VACUUM ALL SURFACES TO BE COVERED AND INSPECT THE SUB-FLOORING FOR UNACCEPTABLE CONDITIONS. INSTALL UNDERLAYMENT IN ACCORDANCE WITH FLOORING MANUFACTURER'S WRITTEN RECOMMENDATIONS. SEAL UNDERLAYMENT IN ACCORDANCE WITH ADHESIVE MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- INSTALL FINISH FLOORING AFTER ALL OTHER FINISHING OPERATIONS ARE COMPLETED, INCLUDING PAINTING. INSTALL FLOORING IN STRICT COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. LAY SHEETS OF VINYL WITH ADHESIVE CEMENT. BUTT EDGES TIGHTLY TO VERTICAL surfaces, thresholds, nosings and edgings. Scribe as necessary around obstructions. EXTEND INTO TOE SPACES, DOOR REVEALS AND INTO CLOSETS AND SIMILAR OPENINGS. LAY VINYL SO THAT PRINCIPAL PATTERN IS SQUARE TO ROOM AXIS. IF MORE THAN ONE SHEET IS USED, INSURE PATTERNS LINE UP AT JOINTS. TIGHTLY CEMENT SHEETS TO SUBBASE WITHOUT OPEN CRACKS, VOIDS, RASINGS, AND PUCKERING OR TELEGRAPHING OF ADHESIVE SPREADER MARKS THROUGH VINYL, OR OTHER SURFACE IMPERFECTIONS.
- 10. PLACE RESILIENT EDGE STRIPS AND RUBBER BASE TIGHTLY BUTTED TO SHEET AND SECURE WITH ADHESIVE. PROVIDE RUBBER BASE AT ALL VERTICAL SURFACES OR AS INDICATED ON THE DRAWINGS.
- 11. REMOVE EXCESS ADHESIVE OR OTHER SURFACE BLEMISHES FROM SHEETS, USING NEUTRAL TYPE CLEANER, RECOMMENDED BY THE MANUFACTURER. PROTECT FROM DAMAGE UNTIL COMPLETION

HARDWARE AND ACCESSORIES

- PROVIDE ALL LABOR AND MATERIALS TO INSTALL BATHROOM ACCESSORIES AND OTHER HARDWARE COMPLETE, IN PLACE AND AS SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN, AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
- FINISH MATERIALS SHALL BE BY ALLOWANCE. ALL OTHER MATERIALS SHALL BE AS SELECTED BY CONTRACTOR AND APPROVED BY OWNER.
- INSTALL ALL ITEMS IN ACCORDANCE WITH THEIR RESPECTIVE MANUFACTURER'S WRITTEN INSTRUCTIONS. INSTALL ALL ITEMS ONTO SOLID BACKING - DO NOT USE MOLLY'S OR TOGGLES. INSTALL ALL ITEMS FOR LONG LIFE UNDER HARD USAGE.
- ALL HARDWARE SHALL BE NEATLY AND PROPERLY INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ALL EXTERIOR DOOR LOCKSETS SHALL BE COMMON KEYED. NO "EXTRA WORK" WILL BE ALLOWED BECAUSE OF CHANGES OR CORRECTIONS NECESSARY TO FACILITATE THE PROPER INSTALLATION OF ANY HARDWARE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER FABRICATION OF ALL WORK OR MATERIAL TO RECEIVE THE HARDWARE.
- 5. ADJUST ALL DOORS, DRAWERS, LOCKSETS, LATCHES, TRACKS, CLOSERS, ETC. TO OPERATE PERFECTLY 9. AT THE TIME THE BUILDING IS OCCUPIED.
- ALL PRECAUTIONS TO PREVENT FINISH HARDWARE FROM BEING SCRATCHED, CHIPPED, PAINTED, DENTED, STAINED OR OTHERWISE DAMAGED. REPLACE ALL DAMAGED HARDWARE AT NO COST TO THE OWNER.

- THE LABOR, EXECUTION AND MATERIALS REQUIRED FOR ALL SHEET METAL WORK AS INDICATED IN THE DRAWINGS SHALL BE IN ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF THE ARCHITECTURAL SHEET METAL MANUAL OF THE SHEET METAL AND AIR CONDITIONING CONTRACTOR'S ASSOCIATION, INC.
- FLASHING AND OTHER GALVANIZED IRON SHALL BE A MINIMUM NO. 28 SHEET GAUGE. ALL EXPOSED GALVANIZED METAL TO BE BACK PRIMED, PRIMED AND PAINTED. ALL SEAMS IN FLAT WORK TO BE SOLDERED.

- PERFORM ALL REQUIRED EXCAVATING, FILLING, GRADING, SITE DRAINAGE AS NEEDED TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- ALL ON-SITE FILL MATERIAL (IF NEEDED) SHALL BE SOIL OR SOIL-ROCK MIXTURE WHICH IS FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCE.
- GRANULAR CUSHION (DRAIN ROCK) SHALL BE CLEAN, MINERAL AGGREGATE.
- EXCAVATE AS REQUIRED TO ACCOMMODATE THE INSTALLATION OF THIS WORK. ALL OVER EXCAVATED AREAS TO BE FILLED WITH CONCRETE AT CONTRACTOR'S EXPENSE. REMOVE ALL RUTS, HUMMOCKS, AND OTHER UNEVEN SURFACES BY SURFACE GRADING PRIOR TO PLACEMENT OF FILL. 3
- EXCAVATE TO THE ESTABLISHED LINES AND GRADES. CUT OFF BOTTOM OF TRENCHES LEVEL, AND REMOVE ALL LOOSE SOIL UNTIL SOLID BASE IS ACHIEVED.
- SHINGLE AS CLOSELY AS POSSIBLE IN COLOR, STYLE, EXPOSURE AND LONGEVITY. UNDERLAYMENT 6. COMPACT COHESIVE BACKFILL MATERIAL TO A MINIMUM DEGREE OF COMPACTION OF 90%.
 - PERFORM ALL ROUGH AND FINISH GRADING REQUIRED TO ATTAIN THE ELEVATIONS SHOWN ON THE DRAWINGS OR AS NEEDED TO COMPLETE THE WORK. USE ALL MEANS NECESSARY TO PREVENT EROSION OF FRESHLY GRADED AREAS DURING CONSTRUCTION AND UNTIL SUCH TIME AS PERMANENT DRAINAGE AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 - WHEN NECESSARY, PROVIDE REQUIRED SHORING TO SUPPORT EXCAVATING OR EXISTING STRUCTURES.
 - CAREFULLY PLACE THE SPECIFIED GRANULAR CUSHION IN AREAS TO RECEIVE CONCRETE SLABS ON GRADE OR AS SHOWN ON THE DRAWINGS, UNIFORMLY ATTAINING THE THICKNESS INDICATED ON 7. THE DRAWINGS, AND PROVIDING ALL REQUIRED TRANSITION PLANES.
 - PRIOR TO DEMOLITION WHICH AFFECTS STRUCTURAL OR ENVIRONMENTAL SAFETY, SUBMIT WRITTEN REQUEST TO THE PROJECT ENGINEER FOR PERMISSION TO PROCEED WITH DEMOLITION.
 - SHOULD CONDITIONS OF THE WORK, OR SCHEDULE, INDICATE A REQUIRED CHANGE OF MATERIALS OR METHODS FOR DEMOLITION OR REMOVAL, SO NOTIFY THE BUILDING DESIGNER AND SECURE HIS

WRITTEN PERMISSION PRIOR TO PROCEEDING.

- CONTRACTOR TO PROVIDE AND INSTALL ALL CONCRETE WORK IN ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF CHAPTER 4 OF THE LATEST ADOPTED EDITION OF THE I.R.C.
- CONCRETE SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI UNLESS NOTED
- AGGREGATE SHALL CONFORM TO ASTM C33 WITH 1" MAX. SIZE FOR ALL CONCRETE. ASTM C33 WITH 1" MAX. SIZE FOR ALL CONCRETE. WITH 1" MAX. SIZE FOR ALL CONCRETE.
- 15. CONCRETE SHALL BE PROPERLY PLACED TO ASSURE THE ABSENCE OF VOIDS IN STRUCTURAL
- REINFORCING STEEL AS INDICATED SHALL BE PROPERLY ANCHORED AND TIED IN PLACE BEFORE POURING. REINFORCING STEEL SHALL BE DEFORMED BARS, CONFORMING TO ASTM 615, GRADE 60. UNLESS OTHERWISE NOTED, LAP ALL SPLICES A ASTM 615, GRADE 60. UNLESS OTHERWISE NOTED, LAP ALL SPLICES A , GRADE 60. UNLESS OTHERWISE NOTED, LAP ALL SPLICES A MINIMUM OF 40 BAR 12. DIAMETERS.

- PROVIDE ALL MISCELLANEOUS METAL COMPLETE, IN PLACE, AS SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
- STRUCTURAL IRON AND STEEL SHALL CONFORM TO ASTM A-36, V.N.O.. ASTM A-36, V.N.O.. , V.N.O.
- SIMPSON COMPANY. NUTS AND BOLTS SHALL CONFORM TO ASTM A-307. ALL BOLTING SHALL CONFORM TO I.B.C. STANDARD NO. 25-17. ALL MACHINE ASTM A-307. ALL BOLTING SHALL CONFORM TO I.B.C. STANDARD NO. 25-17. ALL MACHINE. ALL BOLTING SHALL CONFORM TO I.B.C. STANDARD NO.

25-17. ALL MACHINE BOLT CONNECTIONS SHALL HAVE CUT WASHERS UNDER HEADS AND NUTS

METAL CONNECTORS AND MISCELLANEOUS HARDWARE SHALL BE AS MANUFACTURED BY THE

- BEARING ON WOOD. ALL LAG BOLTS SHALL HAVE WASHERS UNDER HEAD. PAINT ALL NON-PRIMED OR SCRATCHED METAL WITH FULLER-O'BRIEN'S #5037 L-2, CHEX-RUST METAL PRIMER, OR APPROVED EQUIVALENT.
- all steel and miscellaneous connectors shall be installed in strict compliance with **CERAMIC TILE** MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL IRON AND STEEL FURNISHED UNDER THIS SECTION, EXCEPT THOSE EMBEDDED IN CONCRETE SHALL BE THOROUGHLY CLEANED OF RUST, SCALE AND GREASE AND GIVEN AT LEAST ONE SHOP COAT OF PRIMER PAINT, WORKED WELL INTO JOINTS AND HOLES. AFTER ERECTION, TOUCH UP ALL THE DAMAGED PAINT SURFACES.

- INSTALL ALL WORK IN STRICT ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF THE LATEST ADOPTED EDITION OF THE I.R.C./I.B.C. PAINTING WORK SHALL MEET OR EXCEED SPECIFICATIONS OF THE PAINTING AND DECORATING CONTRACTORS OF . PAINTING WORK SHALL MEET OR EXCEED SPECIFICATIONS OF THE PAINTING AND DECORATING CONTRACTORS OF AMERICA, TYPE I.
- SUBMIT SAMPLES OF PAINT COLORS AND WOOD FINISHES TO OWNER FOR SELECTION AND
- PROVIDE THE BEST QUALITY GRADE OF THE TYPE OF COATINGS SELECTED AND APPROVED BY THE OWNER, AS REGULARLY PRODUCED BY THE MANUFACTURER. PROVIDE FINISHES OF THE HIGHEST DURABILITY. IN SO FAR AS PRACTICAL, USE UNDERCOAT, FINISH COAT AND THINNER MATERIAL AS PARTS OF A UNIFIED SYSTEM OF FINISH. PROVIDE UNDERCOAT PRODUCED BY THE SAME MANUFACTURER AS THE FINISH COAT OR AS RECOMMENDED BY THE MANUFACTURER. PROVIDE 6. THINNER RECOMMENDED BY THE MANUFACTURER OF THE FINISH COAT.
- MIX AND PREPARE PAINTING MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. STIR ALL MATERIALS BEFORE APPLYING TO PRODUCE A MIXTURE OF Uniform density.
- PERFORM ALL SURFACE PREPARATIONS AND CLEANING IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. SET NAILS, FILL HOLES, VOIDS, CRACKS AND BLEMISHES NOT FILLED BY THE OTHER TRADES, WITH APPROPRIATE MATERIALS.
- REMOVE OR OTHERWISE PROTECT ALL MATERIALS NOT SCHEDULED TO BE PAINTED- INCLUDING, 9. BUT NOT LIMITED TO: LIGHT FIXTURES, FINISH HARDWARE, COVER PLATES, DRAPERY AND HARDWARE, FLOORING, DOORS AND WINDOWS, ETC. PLASTIC AND GLASS SHALL BE MASKED SO AS TO PREVENT ANY PAINT OR STAIN FROM COMING INTO CONTACT WITH THEM.
- PAINT COLORS SHALL BE SELECTED BY OWNER FROM COLOR SAMPLES. PAINTER SHALL COOPERATE WITH THE OWNER IN OBTAINING THE EXACT COLORS DESIRED TO THE EXTENT OF PAINTING SAMPLES ON VARIOUS MATERIALS FOR TESTING. PAINTER TO NOTIFY OWNER AT LEAST TWO WEEKS BEFORE NEEDING COLORS.
- SLIGHTLY VARY THE COLOR OF SUCCEEDING COATS. DO NOT APPLY ADDITIONAL COATS UNTIL THE COMPLETE COAT HAS BEEN INSPECTED AND APPROVED BY THE OWNER. ALLOW SUFFICIENT DRYING TIME BETWEEN COATS. MODIFY THE PERIODS AS RECOMMENDED BY THE MATERIAL MANUFACTURER TO SUIT ADVERSE CONDITIONS. REGARDLESS OF THE METHOD OF APPLICATION, ALL FINISH COATS SHALL BE WORKED INTO THE SURFACES IN AN EVEN FILM. CLOUDINESS, SPOTTING, HOLIDAYS, LAPS, BRUSH MARKS, RUNS, SAGS, ROPINESS, OR OTHERWISE SURFACE IMPERFECTIONS WILL NOT BE ACCEPTABLE. COMPLETED WORK SHALL MATCH THE APPROVED SAMPLES FOR COLOR, TEXTURE AND COVERAGE. REMOVE, REFINISH OR REPAINT ALL WORK NOT IN COMPLIANCE WITH SPECIFIED REQUIREMENTS.
- COMPLETELY REMOVE ALL PROTECTION MATERIALS, SUCH AS TAPE, NEWSPAPER, OIL FILMS, ETC. REPAIR OR REPAINT ANY AREA DAMAGED BY REMOVAL OF THESE ITEMS.

- THE LABOR, EXECUTION AND MATERIALS REQUIRED FOR ALL HEATING WORK AS INDICATED IN THE DRAWINGS SHALL BE IN ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF THE LATEST ADOPTED EDITION OF THE **UNIFORM MECHANICAL CODE**.
- PROVIDE ALL LABOR AND MATERIALS TO INSTALL HEATING EQUIPMENT AND ACCESSORIES, COMPLETE, IN PLACE AND AS SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN, AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION. WORK TO INCLUDE BUT NOT LIMITED TO: (A.) INSTALLATION OF NEW SECOND FORCED AIR HEATING SYSTEM; (B.) INSTALLATION OF HEAT AND AIR DISTRIBUTION SYSTEM; (C.) PROVIDE ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED, WHICH CAN BE REASONABLY INFERRED OR TAKEN AS BELONGING TO THE WORK OF THIS SECTION AND NECESSARY TO PROVIDE A COMPLETE, INSTALLED SYSTEM.
- HVAC UNIT: BTUH UNIT SPECIFIED BY HEATING CONTRACTOR, SHEET METAL: USE APPROPRIATE SIZE, GAUGE AND TYPE FOR ALL FLUE PIPES, DUCTING AND REGISTERS. INSULATION: DUCT INSULATION MUST EQUAL R-VALUE OF 4.2.
- 4. INSTALL HVAC UNIT IN STRICT CONFORMANCE WITH THE MANUFACTURER'S WRITTEN
- 5. INSTALL IN A NEAT AND TRUE MANNER, ALL DUCT WORK FROM NEW HVAC UNIT TO ALL REGISTERS AND COLD AIR RETURN, LOCATING IN THE MOST ECONOMICAL MANNER POSSIBLE. RUN ALL DUCT WORK BETWEEN JOISTS OR STUDS, UNLESS PRIOR APPROVAL IS OBTAINED FROM OWNER. 6. SECURE ALL JOINTS AND FASTEN ALL DUCT WORK AND REGISTERS TO SOLID BACKING USING
- 7. INSTALL INSULATION IN ACCORDANCE WITH ENERGY REQUIREMENTS.

APPROPRIATE MATERIALS.

GENERAL

- CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS SHOWN ON THE PLANS AND AT THE SITE PRIOR TO COMMENCING ANY WORK. ANY DISCREPANCIES BETWEEN THE PLANS AND/ OR SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. NO WORK SHALL COMMENCE UNTIL THE DISCREPANCIES ARE CORRECTED.
- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE LATEST ADOPTED EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, INTERNATIONAL BUILDING CODE, UNIFORM PLUMBING CODE, UNIFORM MECHANICAL CODE, NATIONAL ELECTRICAL CODE, AND ANY
- DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON THE DRAWINGS. DO NOT SCALE

APPLICABLE LOCAL ORDINANCES (LISTED ON COVER PAGE).

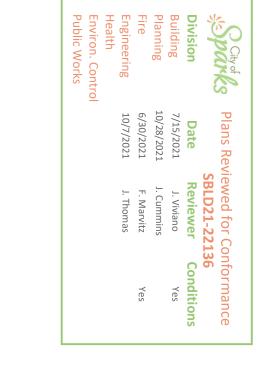
- 4. NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
 - CONTRACTOR SHALL (a) STORE ALL MATERIAL AND EQUIPMENT LEFT AT THE SITE IN A SECURE AND SAFE MANNER; (b) BE RESPONSIBLE FOR DISCONNECTING OR SECURELY LOCKING ANY POTENTIALLY DANGEROUS EQUIPMENT PRIOR TO LEAVING THE PREMISES EACH DAY; (c) BE RESPONSIBLE FOR SECURELY CLOSING ANY OPENINGS GIVING ACCESS TO THE INTERIOR OF THE BUILDING - FROM INTRUSION OR THE ELEMENTS - AT THE END OF EACH WORK DAY.
- Unless otherwise noted, contractor is to remove all materials necessary to perform THE WORK AS INDICATED ON THE DRAWINGS. CONTRACTOR IS TO INSURE THAT ALL OPENINGS INTO AREAS NOT CURRENTLY BEING WORKED ON ARE PROPERLY SEALED FROM DUST DURING
- CONTRACTOR SHALL AT ALL TIMES, KEEP THE SITE FREE FROM THE ACCUMULATION OF WASTE MATERIALS AND LEAVE THE JOB BROOM CLEAN AT THE END OF EACH WORK DAY. CONTRACTOR SHALL DO ALL THINGS NECESSARY TO PROTECT EXISTING LANDSCAPING FROM DAMAGE DURING CONSTRUCTION. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN ALL FIXTURES, GLASS, FLOORS. CRAWLSPACES, DRIVEWAYS, PARKING AREAS, YARDS AND ALL OTHER SURFACES AND LEAVE THE AREA OF WORK IN A COMPLETED CONDITION, READY FOR OCCUPANCY. ALL DEBRIS GENERATED FROM THE WORK UNDER THIS CONTRACT SHALL BE REMOVED FROM SITE.
- OPENINGS, CHASES, TRENCHES, HOLES, NOTCHES, ETC. SHALL NOT BE PLACED IN BEAMS, JOISTS, columns, bearing or shear walls, unless specifically detailed or noted on the drawings.
- CHANGE ORDERS MAY BE MADE AT ANY TIME WITHOUT INVALIDATING THE CONTRACT. THESE CHANGES COULD BE ADDITIONS, SUBSTITUTIONS OR DELETIONS TO THE WORK. THE CONTRACT SUM AND TIME ARE TO BE ADJUSTED ACCORDINGLY. ALL CHANGES WILL BE IN WRITING AND SIGNED BY BOTH PARTIES PRIOR TO INSTITUTING THE CHANGE. CHANGE ORDERS ARE TO BE A PART OF THE CONTRACT DOCUMENTS. NO EXTRA WORK WILL BE PAID FOR UNLESS THIS PROCEDURE IS FOLLOWED.
- 10. ALL MATERIALS NOT SPECIFICALLY DESCRIBED IN THESE SPECIFICATIONS OR ON THE DRAWINGS BUT ARE REQUIRED FOR PROPER AND COMPLETE INSTALLATION OF THE WORK OF THIS SECTION, SHALL BE AS SELECTED BY THE CONTRACTOR SUBJECT, APPROVED BY OWNER.
 - IT IS THE INSTALLER'S RESPONSIBILITY TO ASSURE THAT EACH RESPECTIVE SYSTEM FUNCTIONS PROPERLY, SAFELY, AND MEETS ALL LOCAL, STATE AND REGIONAL CODES.
 - unless otherwise provided for in writing, contractor shall provide and install all WORK INDICATED ON THE DRAWINGS AND AS DESCRIBED IN THESE SPECIFICATIONS. ALSO, CONTRACTOR SHALL PROVIDE ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED, WHICH CAN BE reasonably inferred or taken as belonging to the work and necessary to provide the COMPLETE SYSTEM.
- THESE SPECIFICATIONS DO NOT CONSTITUTE A COMPLETE INSTALLATION GUIDE FOR THE WORK. THE INSTALLERS OF EACH SYSTEM SHALL BE PROPERLY LICENSED AND REASONABLY EXPERIENCED IN INSTALLATION OF THEIR RESPECTIVE TYPE OF SYSTEM.
- CONTRACTOR AND EACH SUB-CONTRACTOR SHALL EXAMINE THE AREAS AND CONDITIONS UNDER WHICH THEIR WORK WILL BE INSTALLED. CORRECT CONDITIONS DETRIMENTAL TO PROPER AND TIMELY COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- CONTRACTOR AND EACH SUB-CONTRACTOR SHALL PROVIDE AT LEAST ONE PERSON WHO SHALL BE THOROUGHLY TRAINED AND EXPERIENCED IN THE SKILLS REQUIRED, WHO SHALL BE COMPLETELY FAMILIAR WITH THE DESIGN AND APPLICATION OF EACH SECTION OF THE WORK DESCRIBED HEREIN, AND WHO SHALL BE PRESENT AT ALL TIMES DURING PROGRESS OF THE WORK

AND SHALL DIRECT ALL WORK PERFORMED UNDER THEIR RESPONSIBILITY.

- 1. INSTALL ALL WORK IN STRICT ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF THE LATEST ADOPTED EDITION OF THE **I.B.C.**
 - INSTALL ALL TILE WORK IN ACCORDANCE WITH THE STANDARDS SET BY THE LATEST HANDBOOK FOR CERAMIC TILE INSTALLATION PUBLISHED BY THE TILE COUNCIL OF AMERICA.
 - LAY ALL TILE, HORIZONTAL AND VERTICAL IN THIN SET MORTAR OVER EITHER MIN. 3/4" MORTAR BED OR 1/2" CEMENT BACKER BOARD.
 - DETERMINE LOCATIONS OF ALL ACCESSORIES BEFORE STARTING TILE WORK. LAY OUT ALL TILE WORK SO AS TO MINIMIZE CUTS LESS THAN 1/2 TILE SIZE. LOCATE CUTS IN BOTH WALLS AND FLOORS OR COUNTERS, SO AS TO BE THE LEAST CONSPICUOUS.
- ALL TILE TO BE LAID WITH A SMOOTH, EVEN SURFACE AND WITH ALL JOINTS EVENLY SPACED AND SQUARE TO EACH OTHER AND TO THE SURROUNDING AREAS IN ACCORDANCE WITH THE PATTERN SHOWN ON THE DRAWINGS. INSURE TILE IS WELL FIXED TO THE BONDING SURFACE AND THAT NO CRACKED OR CHIPPED TILE IS USED. BUTT EDGES TIGHTLY TO VERTICAL SURFACES, THRESHOLDS, NOSINGS AND EDGINGS. SCRIBE, CUT, NOTCH OR DRILL TILE TO FIT AROUND ALL PROJECTIONS. EXTEND FLOOR TILE INTO TOE SPACES, DOOR REVEALS OR SIMILAR OPENINGS. INSURE PATTERN OF FLOOR TILE IS SQUARE TO ROOM AXIS.
- INSTALL ALL ACCESSORY PIECES, IF ANY, WITH RESPECT TO TILE LAYOUT BEING SYMMETRICAL. APPROPRIATE TILE TRIM PIECES TO BE USED AT ALL REQUIRED AREAS. MITER TRIM PIECES IF CORNER TRIMS ARE NOT AVAILABLE.
- FOLLOW TILE AND GROUT MANUFACTURER'S RECOMMENDATIONS AS TO GROUTING PROCEDURES AND PRECAUTIONS. REMOVE ALL GROUT HAZE, USING ONLY RECOMMENDED ACID OR CHEMICAL CLEANERS. RINSE TILE WORK THOROUGHLY WITH CLEAN WATER BEFORE AND AFTER CHEMICAL CLEANER. POLISH SURFACE WITH SOFT CLOTH.
- 8. SEAL GROUT ON GLAZED TILES WITH TWO COATS APPROVED SILICONE SEALER.
- PROHIBIT ALL FOOT TRAFFIC FOR MIN. OF 3 DAYS. COVER WITH HEAVY DUTY CONSTRUCTION PAPER, MASKED IN PLACE.

GYPSUM WALLBOARD

- THE LABOR, EXECUTION AND MATERIALS REQUIRED FOR ALL DRYWALL WORK AS INDICATED IN THE DRAWINGS SHALL BE IN ACCORDANCE WITH CHAPTER 7 OF THE I.R.C. AND CHAPTER 25 OF
- 1/2" GYPSUM WALLBOARD SHALL BE PLACED ON ALL INTERIOR WALLS AND 5/8" ON CEILINGS OR AS INDICATED ON THE DRAWINGS OR AS NEEDED FOR A COMPLETE JOB. USE RC CHANNEL ON THOSE WALLS INDICATED ON THE DRAWINGS. USE WATER RESISTANT GYPSUM BOARD UNDER TUB SURROUND.
- USE 5D, CEMENT COATED, FLAT HEAD, DIAMOND POINT NAILS AT 5" O.C. PERIMETER AND 7" O.C. INTERMEDIATE.
- USE "PERFATAPE" JOINT SYSTEM OR EQUIVALENT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS IN INTERIOR SPACES.
- APPLY TEXTURING TO MATCH EXISTING SURROUNDING WALLS. PROVIDE OWNER WITH SAMPLE OF TEXTURING BEFORE APPLYING.



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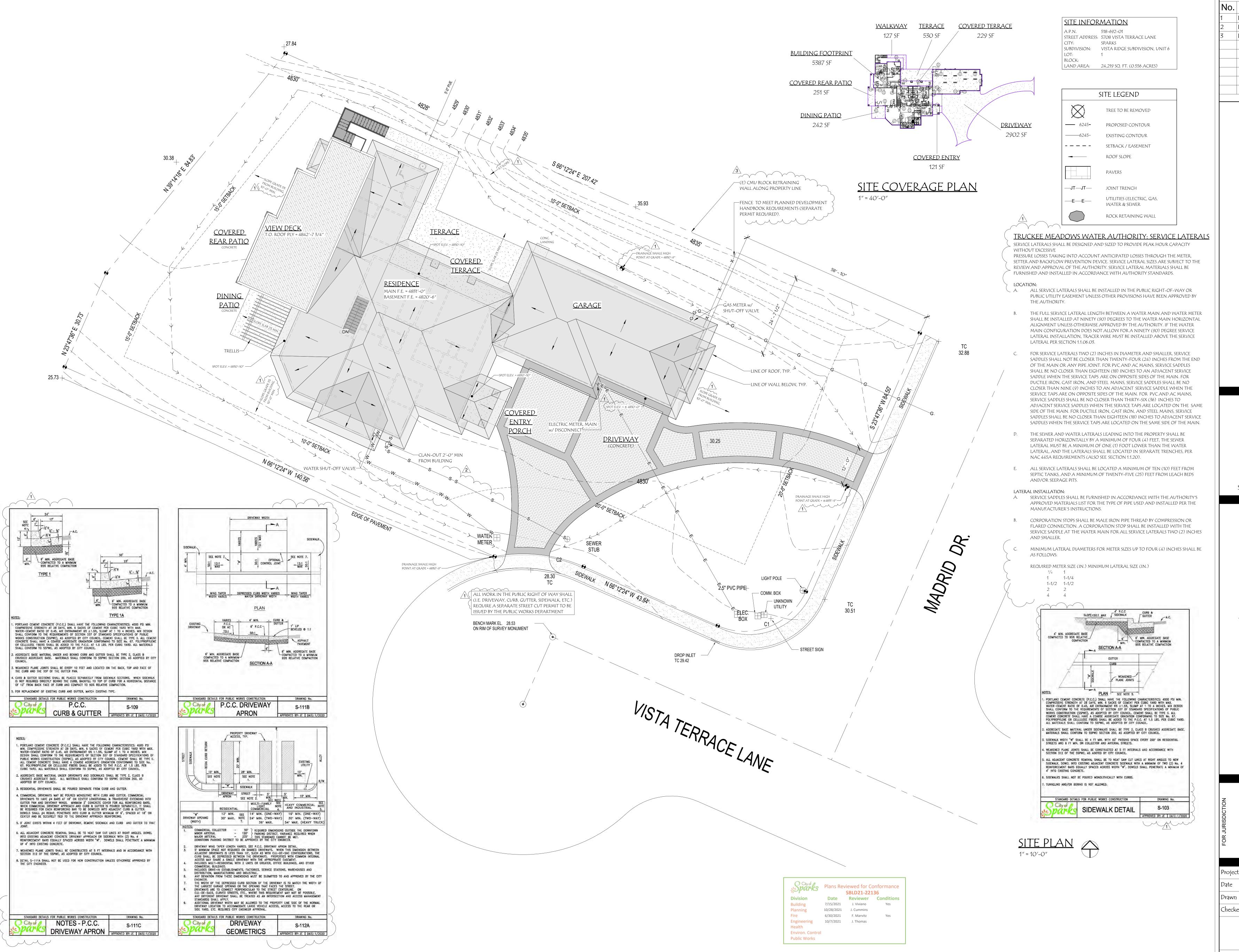


SIGNED ELECTRONICALLY

Project Number **JUNE 2021**

Drawn By

Checked By



 No.
 Description
 Date

 1
 PLAN CHECK
 07/08/2021

 2
 PLAN CHECK
 08/01/2021

 3
 PLAN CHECK
 10/18/2021

5 GREEN VISTA DRIVE, SUITE# 107 RKS, NEVADA 89431 -333-5211 (PHONE) AIL: INFINITYRENO@GMAIL.COM

ENGINEERING INC.



SIGNED ELECTRONICALLY

VISTA TERRACI

Project Number 18–1224

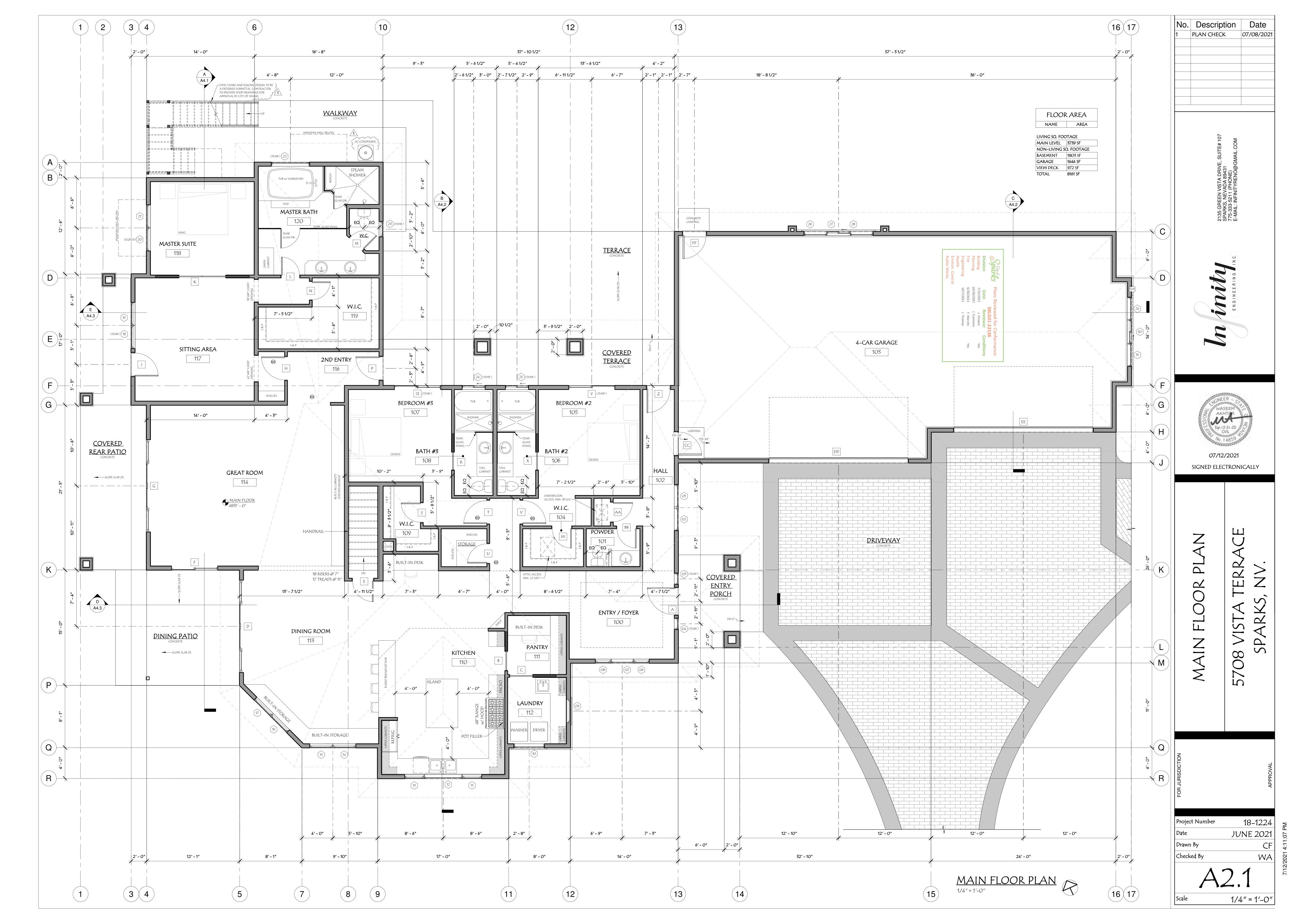
Date JUNE 2021

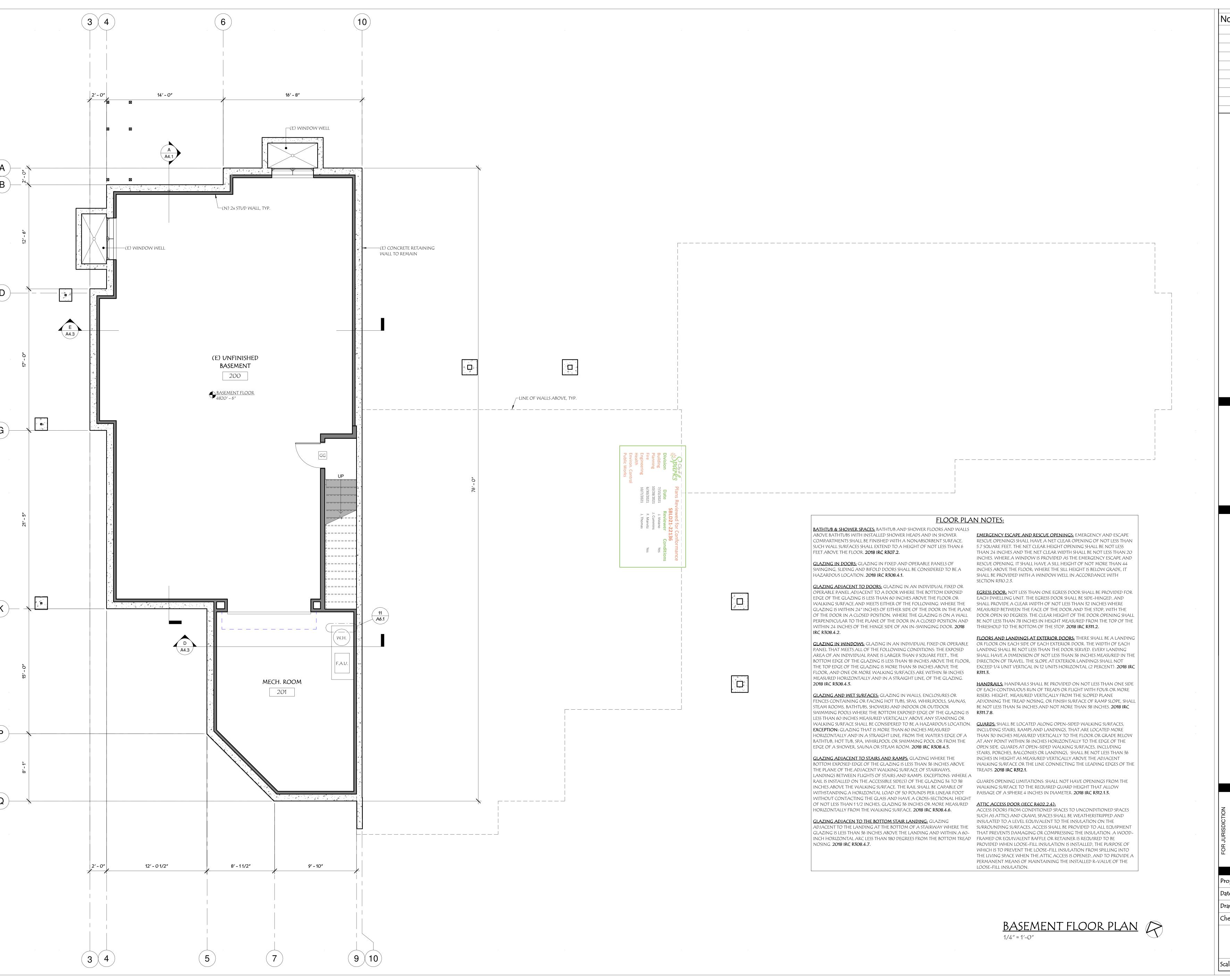
Drawn By CF

Checked By WA

A1.0

As indicated





Date

2135 GREEN VISTA DRIVE, SUITE# 107

SPARKS, NEVADA 89431

775-333-5211 (PHONE)

E-MAIL: INFINITYRENO@GMAIL.COM



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FLOOR PLA

Project Number 18–1224

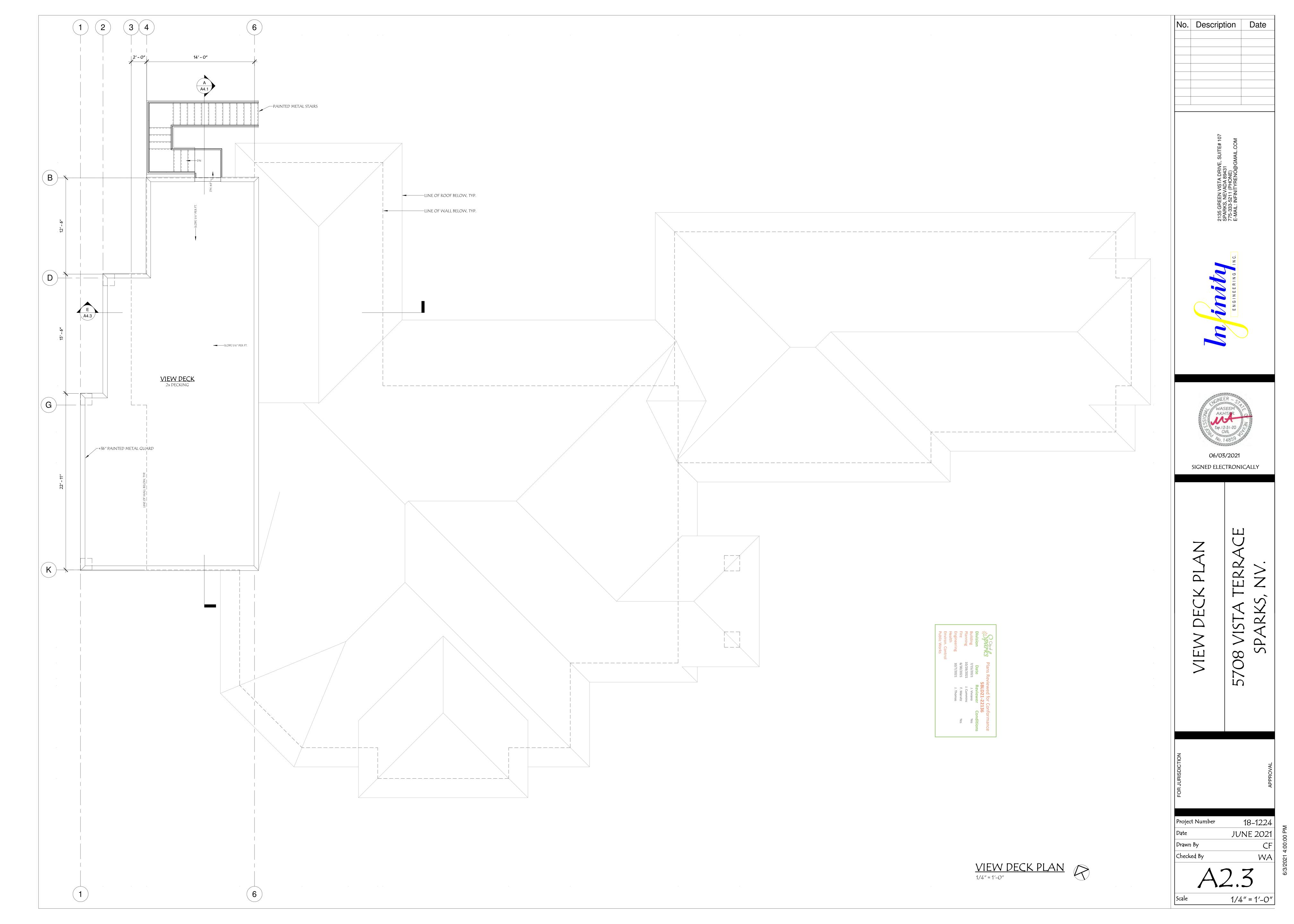
Date JUNE 2021

Drawn By CF

Checked By WA

A2.2

As indicated



ROOM SCHEDULE									
Number	Name	Level	Base Finish	Ceiling Finish	Floor Finish	Wall Finish	Comments		
100	ENTRY / FOYER	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
101	POWDER	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
102	HALL	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
103	4-CAR GARAGE	MAIN FLOOR PLAN	NONE	5/8" GYP. BOARD/PAINT	CONCRETE	1/2" GYP. BOARD/PAINT	5/8" TYPE 'X' AT DWELLING/GARAGE WALI		
104	W.I.C.	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
105	BEDROOM #2	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
106	BATH #2	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
107	BEDROOM #3	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
108	BATH #3	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
109	W.I.C.	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
110	KITCHEN	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
111	PANTRY	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
112	LAUNDRY	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
113	DINING ROOM	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
114	GREAT ROOM	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
116	2ND ENTRY	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
117	SITTING AREA	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
118	MASTER SUITE	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
119	W.I.C.	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
120	MASTER BATH	MAIN FLOOR PLAN	PAINT	5/8" GYP. BOARD/PAINT	SEE OWNER	1/2" GYP. BOARD/PAINT			
200	(E) UNFINISHED BASEMENT	BASEMENT FLOOR	NONE	NONE	CONCRETE	1/2" GYP. BOARD/PAINT			
201	MECH. ROOM	BASEMENT FLOOR	NONE	5/8" TYPE 'X' GYP. BOARD	CONCRETE	1/2" GYP. BOARD/PAINT			

DOOR SCHEDULE									
Mark	Width	Height	Operation	Head Height	Level	Fire Rating	Comments		
Δ	3' - 6"	0/ 0//	CIAUNIC	0/ 0//	MAIN FLOOR DLAN		ENTRY DOOR		
A		8' - 0"	SWING	8' - O"	MAIN FLOOR PLAN		ENTRY DOOR		
AA	2' - 6"	8' - 0"	SWING	8' - 0"	MAIN FLOOR PLAN				
В	2' - 6"	8' - O"	POCKET	8' - O"	MAIN FLOOR PLAN				
ВВ	2'-6"	8' - O"	SWING	8' - 0"	MAIN FLOOR PLAN				
С	3' - O"	8′ - O″	POCKET	8′ - O″	MAIN FLOOR PLAN				
CC	3′ - O″	8′ - O″	SWING	8' - O"	MAIN FLOOR PLAN		20 MINUTE RATED		
D	12' - 0"	8' - O"	4-PANEL SLIDER	8' - O"	MAIN FLOOR PLAN				
E	2' - 8"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
F	6' - O"	8' - O"	2-PANEL SLIDER	8' - O"	MAIN FLOOR PLAN		TEMPERED		
G	12' - O"	8' - O"	4-PANEL SLIDER	8' - O"	MAIN FLOOR PLAN		TEMPERED		
Н	3' - O"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
J	3' - O"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
K	6' - O"	8' - O"	DOUBLE POCKET	8' - O"	MAIN FLOOR PLAN				
L	2' - 4"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
М	2' - 4"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
N	2' - 4"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
P	3' - O"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
Q	6' - O"	8' - O"	2-PANEL SLIDER	8' - O"	MAIN FLOOR PLAN		TEMPERED		
R	2' - 4"	8' - O"	POCKET	8' - O"	MAIN FLOOR PLAN				
5	2' - 6"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
T	3' - O"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
V	2'-6"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
V	3' - O"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
W	2' - 6"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
X	2'-4"	8' - 0"	POCKET	8' - O"	MAIN FLOOR PLAN				
Y	6' - O"	8' - O"	2-PANEL SLIDER	8' - O"	MAIN FLOOR PLAN				
Z	3' - O"	8' - O"	SWING	8' - O"	MAIN FLOOR PLAN				
DD	18' - 0"	8' - O"	OVERHEAD SECTIONAL	8' - O"	GARAGE				
EE	18' - O"	8' - O"	OVERHEAD SECTIONAL	8' - 0"	GARAGE				
FF	3' - 0"	8' - O"	SWING	8' - 0"	GARAGE				
GG	3' - 0"	8′ - O″	SWING	8' - 0"	BASEMENT FLOOR				
HH	10' - 0"	8' - O"	OVERHEAD ROLL-UP	8' - 0"					
ПП	10 - 0	0 - 0	OVEKHEAD KULL-UP	0 - 0	BASEMENT FLOOR				



	WINDOW SCHEDULE									
Mark	Width	Height	Head Height	Level	Operation	Comments				
O1	3' - 0"	6' - O"	8' - O"	MAIN FLOOR PLAN	FIXED					
02	3' - 0"	6' - 0"	8' - O"	MAIN FLOOR PLAN	FIXED					
03	1' - 6"	6' - 0"	8' - 1"	MAIN FLOOR PLAN	FIXED	TEMPERED, ALIGN WITH TOP OF ADJACENT DOOR				
04	1' - 6"	6' - 0"	8' - 1"	MAIN FLOOR PLAN	FIXED	TEMPERED, ALIGN WITH TOP OF ADJACENT DOOR				
05	7' - 4"	1' - 0"	9' - 4"	MAIN FLOOR PLAN	FIXED	TELL ENERGY AND TO STAND TELL DOOR				
06	2' - 0"	5' - 0"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG					
07	3' - 0"	5' - 0"	8' - O"	MAIN FLOOR PLAN	FIXED					
08	2' - 0"	5' - O"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG					
09	3' - 0"	4' - 0"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG					
10	4' - 0"	1' - 6"	8' - 0"	MAIN FLOOR PLAN	FIXED					
11	2' - 6"	4' - 6"	8' - 0"	MAIN FLOOR PLAN	SINGLE HUNG					
12	5' - O"	4' - 6"	8' - O"	MAIN FLOOR PLAN	FIXED					
13	2'-6"	4' - 6"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG					
14	3' - 0"	4' - 6"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG					
15	3' - 0"	4' - 6"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG					
16	3' - 0"	4' - 6"	8' - 0"	MAIN FLOOR PLAN	SINGLE HUNG					
17	3' - 0"	4' - 6"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG					
18	3' - 0"	4' - 6"	8' - 1"	MAIN FLOOR PLAN	SINGLE HUNG	TEMPERED				
19	3' - 0"	4' - 6"	8' - 1"	MAIN FLOOR PLAN	SINGLE HUNG	TEL ENER				
20	3' - 0"	4' - 6"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG	EGRESS				
21	3' - 0"	4' - 6"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG	Editos				
22	5' - O"	4' - 6"	8' - O"	MAIN FLOOR PLAN	FIXED	TEMPERED				
23	2'-0"	5' - O"	8' - O"	MAIN FLOOR PLAN	SINGLE HUNG	TEMPERED				
24	3' - 0"	2' - 0"	8' - O"	MAIN FLOOR PLAN	HORIZ. SLIDE	TEMPERED				
25	3' - 0"	2' - 0"	8' - O"	MAIN FLOOR PLAN	HORIZ. SLIDE	TEMPERED				
26	3' - 0"	3' - 6"	8' - O"	GARAGE	FIXED					
27	3' - 0"	3' - 6"	8' - O"	GARAGE	HORIZ. SLIDE					
28	3' - 0"	3' - 6"	8' - 0"	GARAGE	FIXED					
29	3' - 0"	3' - 6"	8' - O"	GARAGE	FIXED					
30	3' - 0"	3' - 6"	8' - 0"	GARAGE	HORIZ. SLIDE					
31	3' - 0"	3' - 6"	8' - O"	GARAGE	FIXED					
32	2'-6"	4' - 6"	8' - O"	BASEMENT FLOOR	SINGLE HUNG					
33	2' - 6"	4' - 6"	8' - 0"	BASEMENT FLOOR	SINGLE HUNG					
34	2'-6"	4' - 6"	8' - O"	BASEMENT FLOOR	SINGLE HUNG					
35	2'-6"	4' - 6"	8' - 0"	BASEMENT FLOOR	SINGLE HUNG					

1 WALL SHEATHING—

2 WATER RESISTIVE BARRIER—

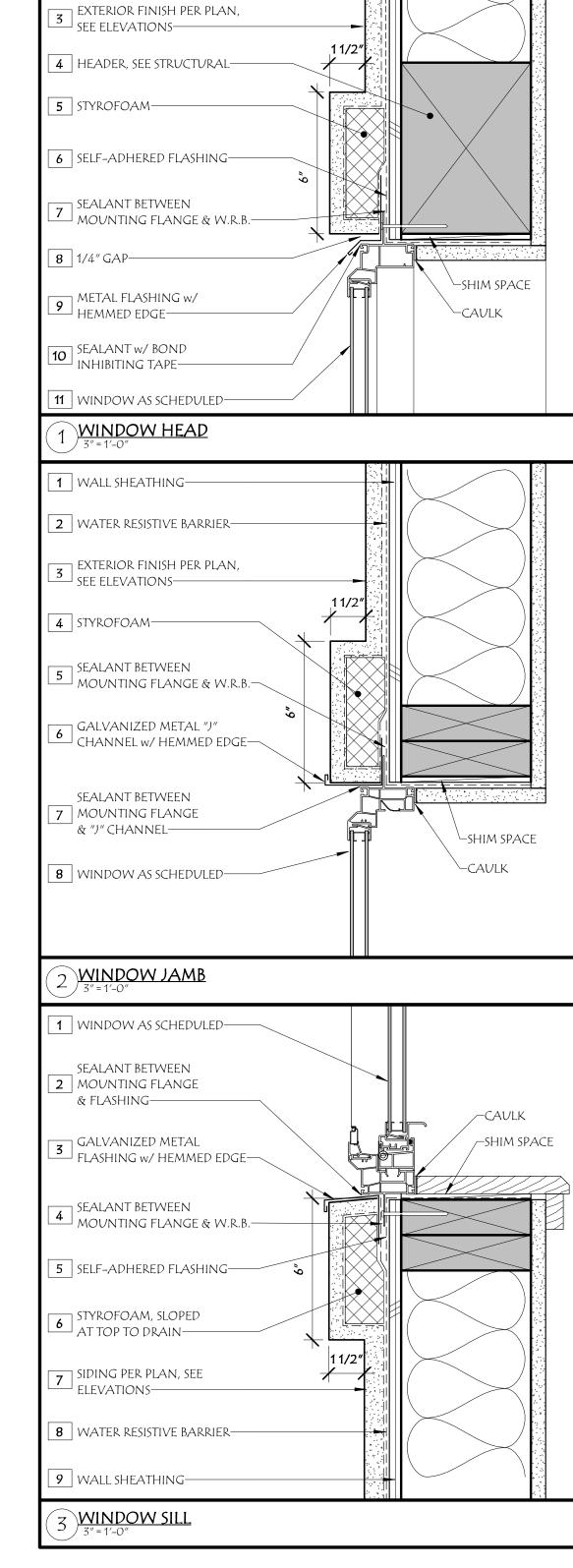
NOTES: ALL WINDOWS AND PATIO DOORS TO COMPLY w/ ALL APPLICABLE CODES AND ORINANCES INCLUDING IRC & IBC. DIMENSIONS FOR ALL STACKED WINDOWS TO HAVE

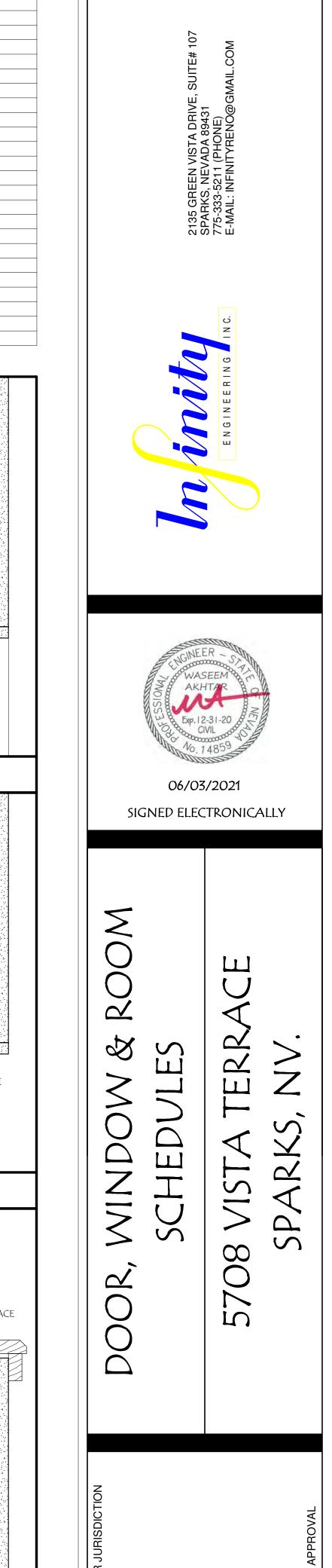
DIMENSIONS VERIFIED FOR LINE UP WITH WINDOWS ABOVE AND OR BELOW. CONTRACTOR TO VERIFY ALL WINDOWS ON

PRIOR TO ORDERING WINDOW PACKAGE. TEMPERED GLAZING AT STAIRS AND IN BATHTUBS / SHOWER TEMPERED GLAZING AT STAIRS AND IN BATHTUBS / SHOWER ENCLOSURES LESS THAN 60"

schedule match windows on elevations

ABOVE WALKING SURFACE.

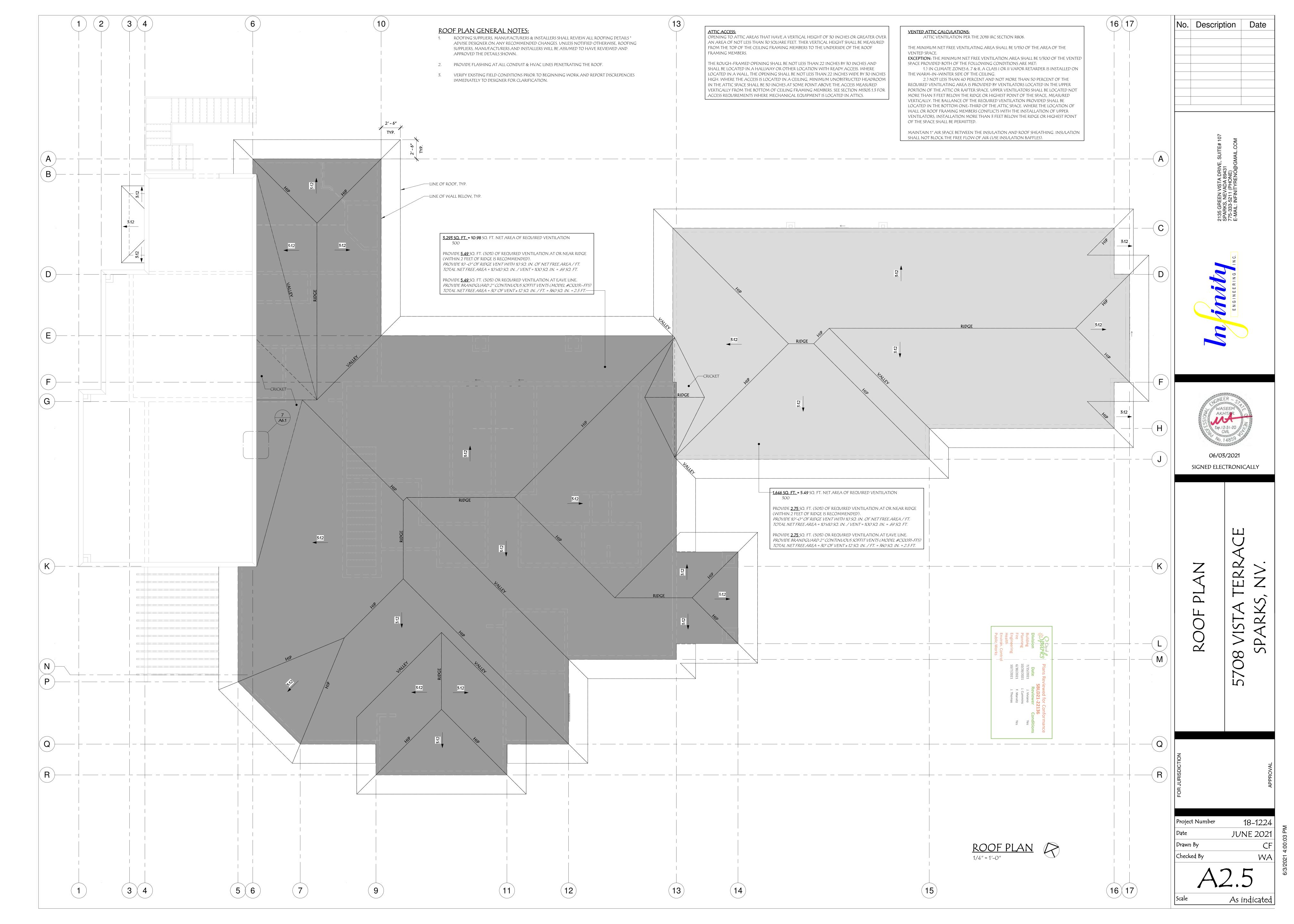




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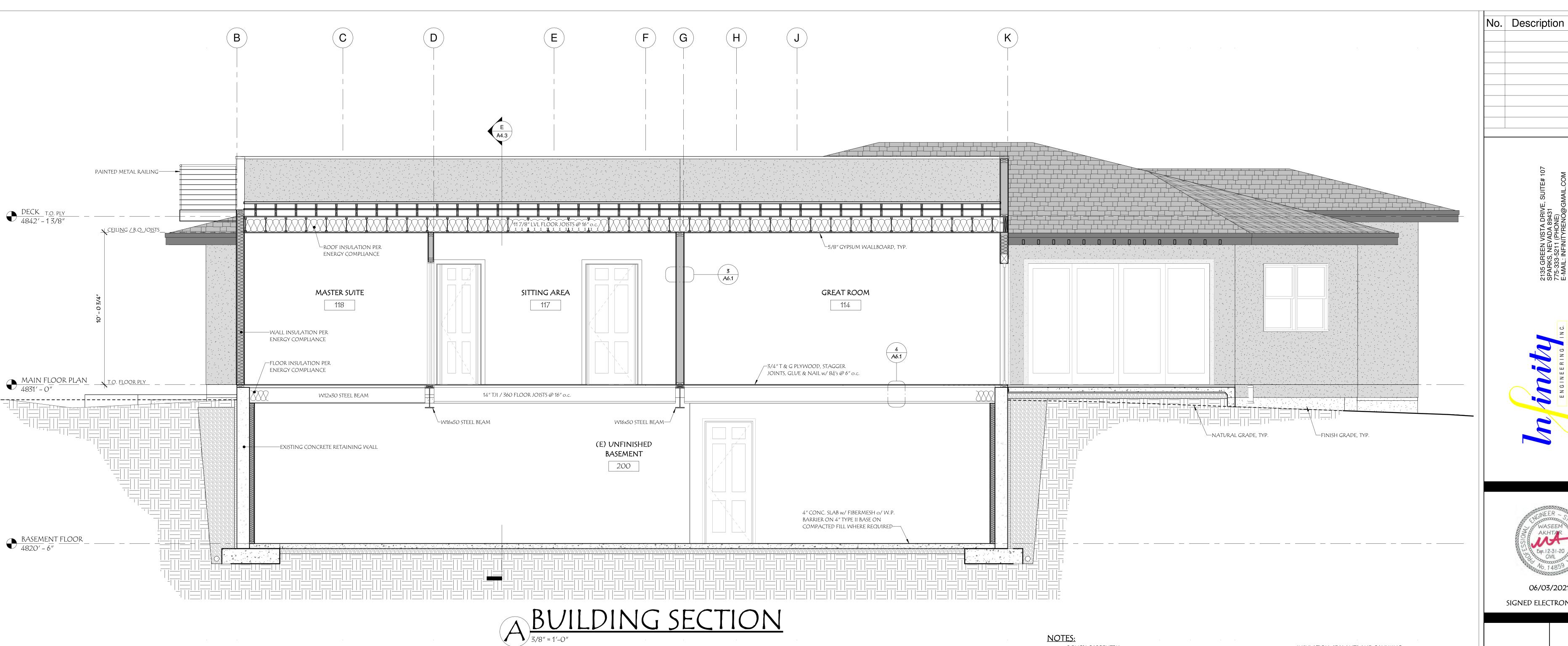




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KEYNOTES:





ROUGH CARPENTRY 1. THE LABOR, EXECUTION AND MATERIALS REQUIRED FOR ALL CARPENTRY WORK AS INDICATED IN THE DRAWINGS SHALL BE IN ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF THE LATEST ADOPTED EDITION OF THE I.R.C./I.B.C. THE LATEST ADOPTED EDITION OF THE **I.R.C./I.B.C**.

ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR, GRADED IN ACCORDANCE WITH THE WEST COAST LUMBER INSPECTION BUREAU, WESTERN WOOD PRODUCTS ASSOCIATION, AND THE CALIFORNIA REDWOOD ASSOCIATION.

3. ALL STRUCTURAL FRAMING MEMBERS SHALL BE DOUGLAS FIR WITH THE 17. FOLLOWING MINIMUM GRADES:

A. GLU-LAM: 24F-V4 Joists, studs, blocking and plates: #2 or better POSTS, BEAMS AND HEADERS: #1 4. ALL JOISTS, BEAMS AND HEADERS SHALL BE DRY (MC LESS THAN 19%).

5. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED OR REDWOOD, APPEARANCE GRADE OR BETTER (SEE PLANS).

6. WHERE NOT SHOWN ON THE PLANS, NAILING SHALL CONFORM TO I.R.C. TABLE R602.3 AND CHAPTER 23 OF THE I.B.C. I.R.C. TABLE R602.3 and chapter 23 of the **i.b.c.**

7. ALL NAILS TO BE COMMON WIRE. NAILS THAT WILL BE EXPOSED TO 19. WEATHER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

8. BUILDING PAPER SHALL BE EITHER 15# OR 30# (AS INDICATED) ASPHALT SATURATED FELT, LAID HORIZONTALLY-BOARD FASHION-WITH 3" LAPS. CARRY OVER SILLS, JAMBS AND OPENINGS. USE FLASHING PAPER-DOUBLE KRAFT TYPE- AT ALL WINDOWS AND DOORS.

9. FIRE BLOCK WALLS OVER TEN FEET IN HEIGHT. BLOCK ALL PLYWOOD SEAMS IN SHEAR WALLS. BLOCK AT SHEAR WALL CONNECTIONS TO ROOF, CEILING AND FLOOR.

10. JOISTS, RAFTERS AND BEAMS TO BE PLACED WITH CROWN SIDE UP EXCEPT AT LARGE CANTILEVERS. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPE, CONDUIT, ETC.

THE MATERIALS FOR FINISH CARPENTRY WORK SHALL BE SELECTED BY THE CONTRACTOR (WITH OWNER'S APPROVAL) FOR APPEARANCE IN ACCORDANCE WITH WIC STANDARDS. ALL INTERIOR AND EXTERIOR LUMBER SHALL MEET OR EXCEED THE STANDARDS OF "SECTION 3-LUMBER GRADES- SOFTWOODS" OF THE MANUAL OF MILLWORK "CUSTOM-GRADE, OPAQUE FINISH. CASEWORK AND PLASTIC COVERED CASEWORK SHALL BE IN ACCORDANCE WITH "SECTION 14" AND "SECTION 15" CUSTOM-GRADE.

12. PRODUCE JOINTS WHICH ARE TRUE, TIGHT AND WELL FASTENED WITH ALL MEMBERS ASSEMBLED IN ACCORDANCE WITH THE DRAWINGS. MAKE ALL JOINTS TO CONCEAL SHRINKAGE. MITER EXTERIOR JOINTS. COPE INTERIOR JOINTS. MITER OR SCARF END-TO-END JOINTS. INSTALL TRIM USING PIECES AS LONG AS POSSIBLE. INSTALL ITEMS STRAIGHT, TRUE, LEVEL, PLUMB AND FIRMLY ANCHORED IN PLACE. NAIL TRIM WITH FINISH NAILS OF PROPER DIMENSION TO HOLD THE MEMBER FIRMLY IN PLACE WITHOUT SPLITTING THE WOOD. NAIL EXTERIOR TRIM WITH GALVANIZED NAILS, MAKING JOINTS TO EXCLUDE WATER AND SETTING IN WATERPROOF GLUE OR SEALANT. ON EXPOSED WORK, SET NAILS FOR PUTTY.

13. SAND FINISHED WOOD SURFACES THOROUGHLY AS REQUIRED TO PRODUCE UNIFORMLY SMOOTH SURFACE. DO NOT SAND WOOD WHICH is designed to be left rough. No sandpaper marks, hammer MARKS, OR OTHER IMPERFECTIONS. BACK PRIME ALL EXTERIOR LUMBER BEFORE INSTALLING.

INSULATION, SEALANTS AND CAULKING

14. THE LABOR, EXECUTION AND MATERIALS REQUIRED FOR ALL INSULATION, SEALANTS AND CAULKING WORK AS INDICATED IN THE DRAWINGS SHALL BE IN ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF THE LATEST ADOPTED EDITION OF THE **I.R.C.**

15. ALL NEW WINDOWS SHALL BE FULLY WEATHER STRIPPED OR GASKETED.

ALL NEW EXTERIOR WALLS AND THOSE EXISTING EXTERIOR WALLS THAT ARE OPEN DURING THE COURSE OF CONSTRUCTION SHALL BE INSULATED. INSULATE WALLS PER ENERGY CALCULATIONS.

FIBERGLASS INSULATION SHALL BE FACED WITH EITHER FOIL OR KRAFT TYPE MOISTURE BARRIER. FACED SIDE TO BE INSTALLED TOWARD THE INTERIOR OF THE BUILDING. BATT INSULATION SHALL CONFORM TO FEDERAL SPECIFICATION HH-1-521-E, TYPE II AND III FIRE HAZARD CLASSIFICATION RATING SHALL BE 25/50 OR LESS.

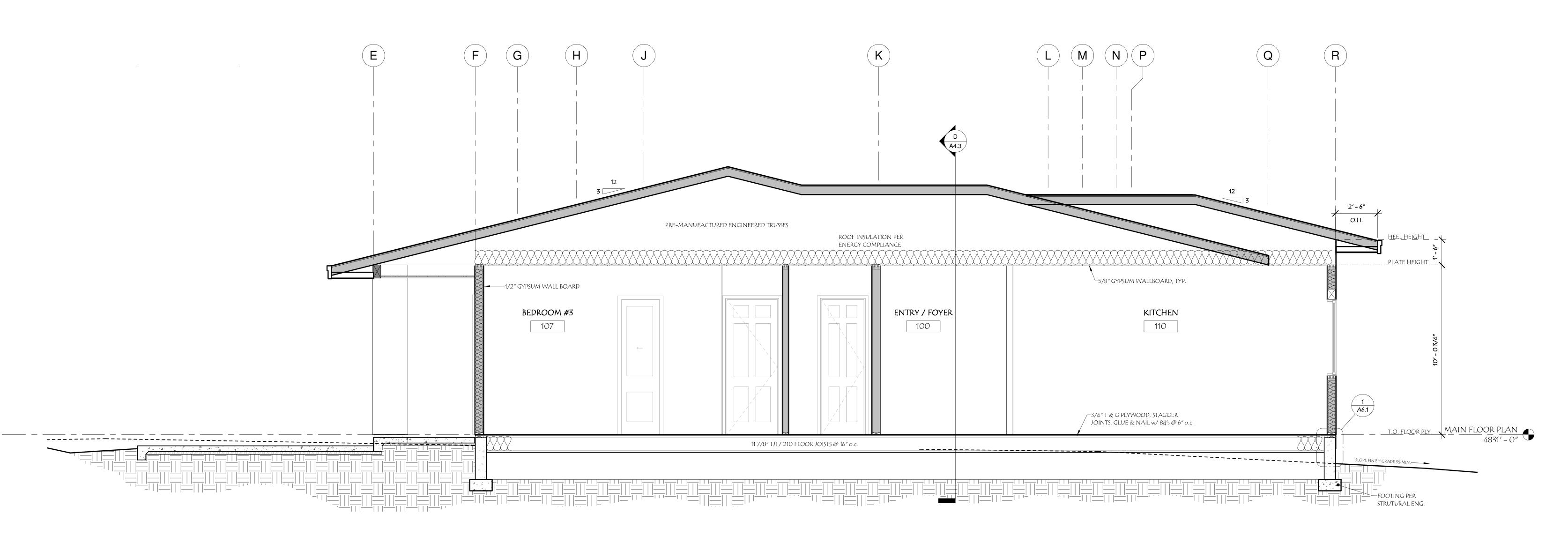
BEFORE CAULKING, INSURE THAT ALL JOINTS AND SPACES ARE CLEAN, DRY, FREE OF DUST, LOOSE PARTICLES AND OTHER FOREIGN MATERIALS/ THAT METALS ARE FREE OF ALL RUST, MILL, SCALE, COATINGS, OIL AND GREASE/ THAT ALUMINUM SURFACES THAT HAVE PROTECTIVE COATINGS ARE CLEANED WHEREVER SEALANT IS TO BE PLACED, AND FIXTURE SURFACES ARE CLEAN AND LABELS REMOVED IN AREAS OF SEALANT APPLICATION.

CAULK OR OTHERWISE SEAL ALL EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES/ BETWEEN WALL SOLE PLATES AND FLOORS, AND BETWEEN EXTERIOR WALL PANELS/ PENETRATIONS IN WALLS, CEILINGS, AND FLOORS FOR PLUMBING, ELECTRICAL OR GAS LINES/ OPENINGS IN ATTIC FLOORS/ ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.

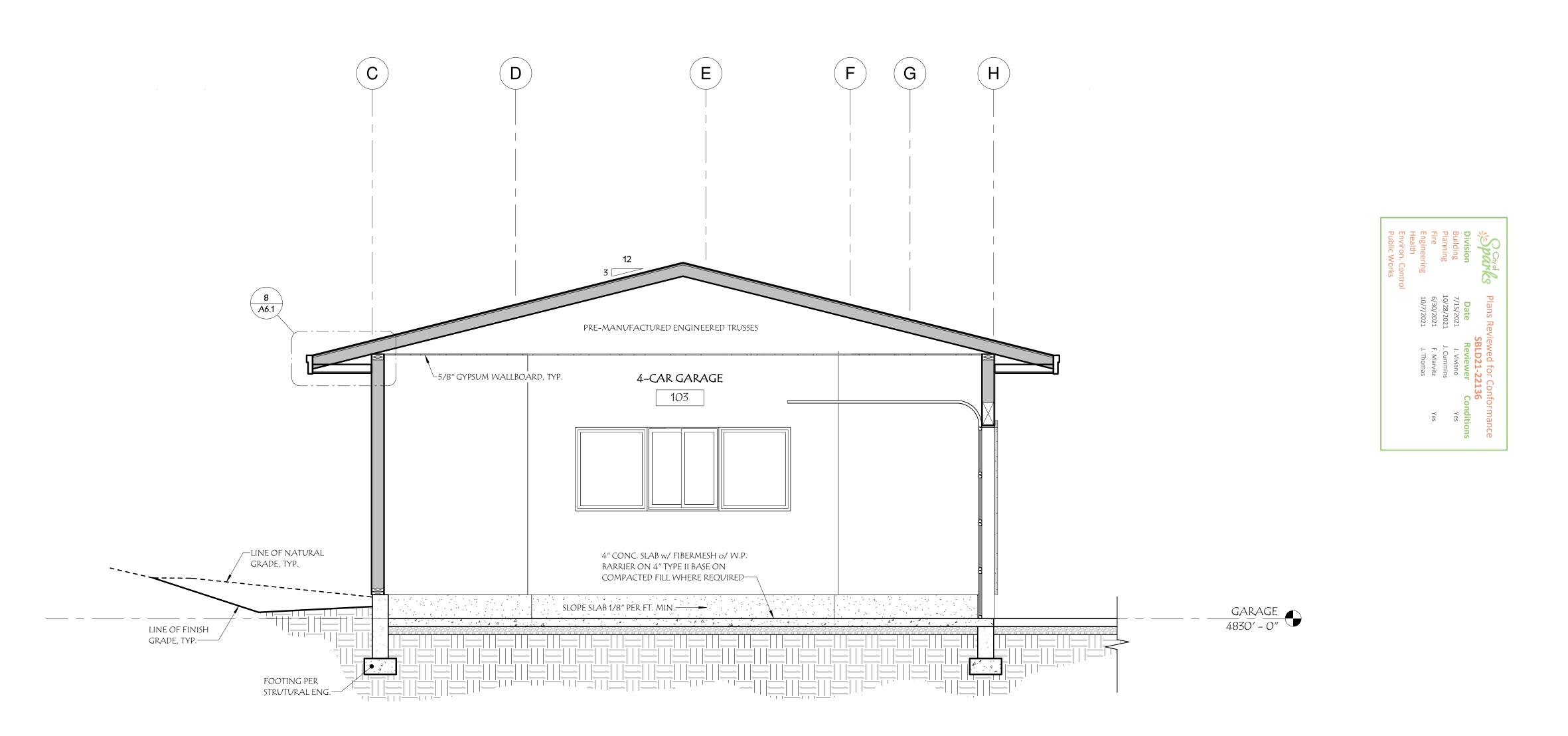
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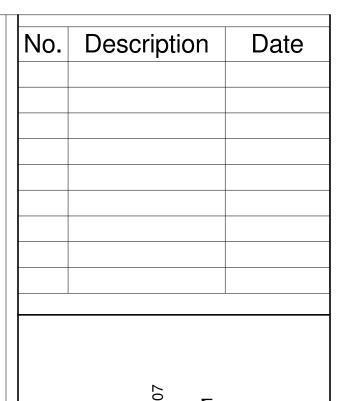


BUILDING SECTION



BUILDING SECTION

3/8" = 1'-0"



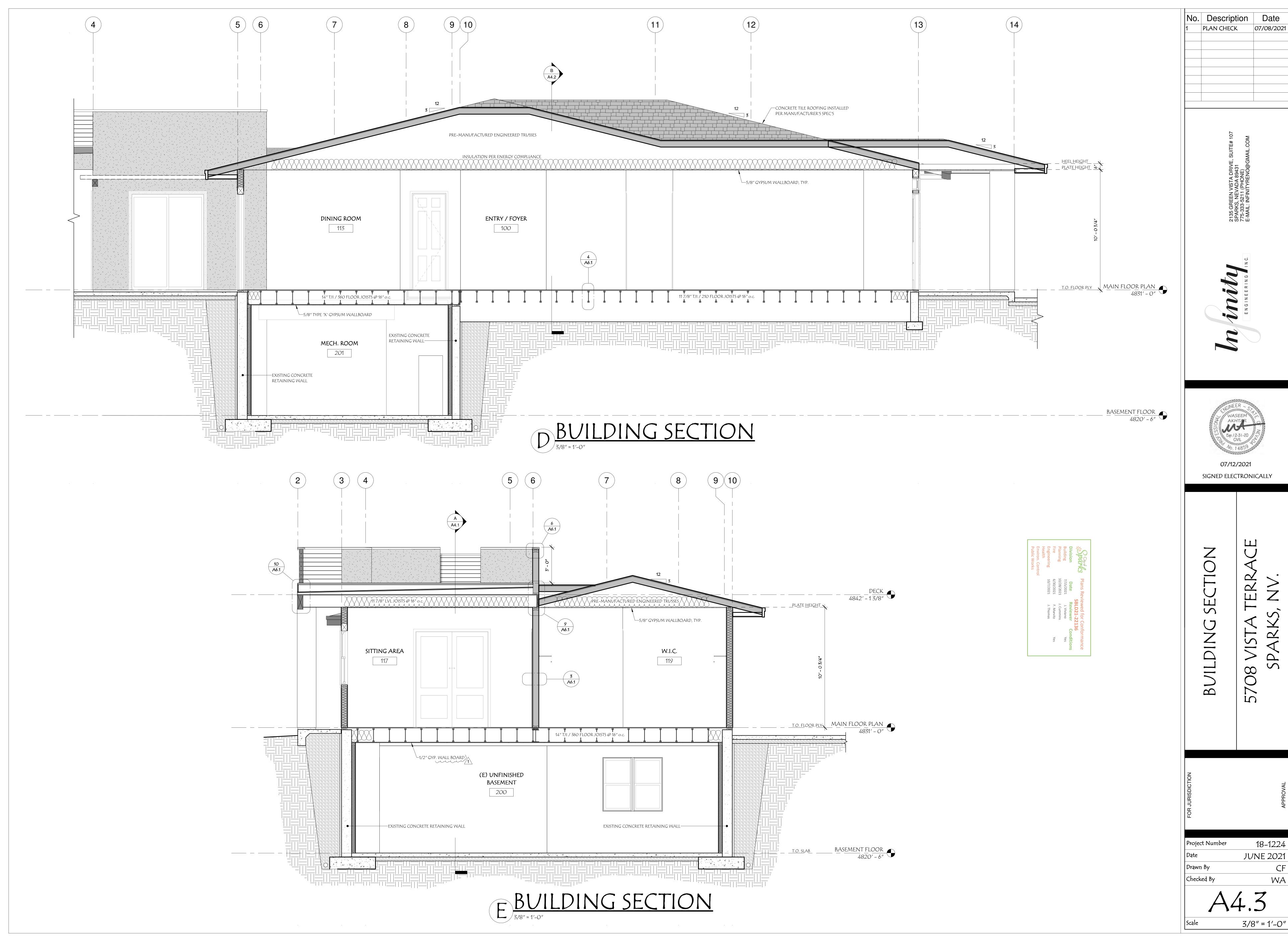




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BUILDING

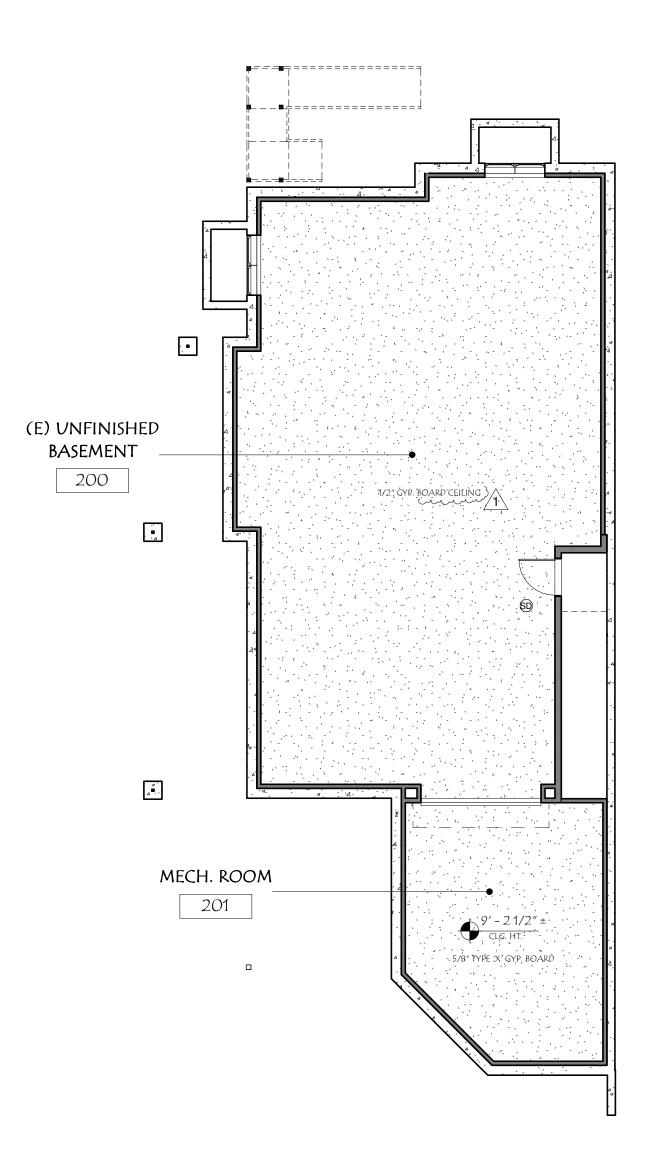
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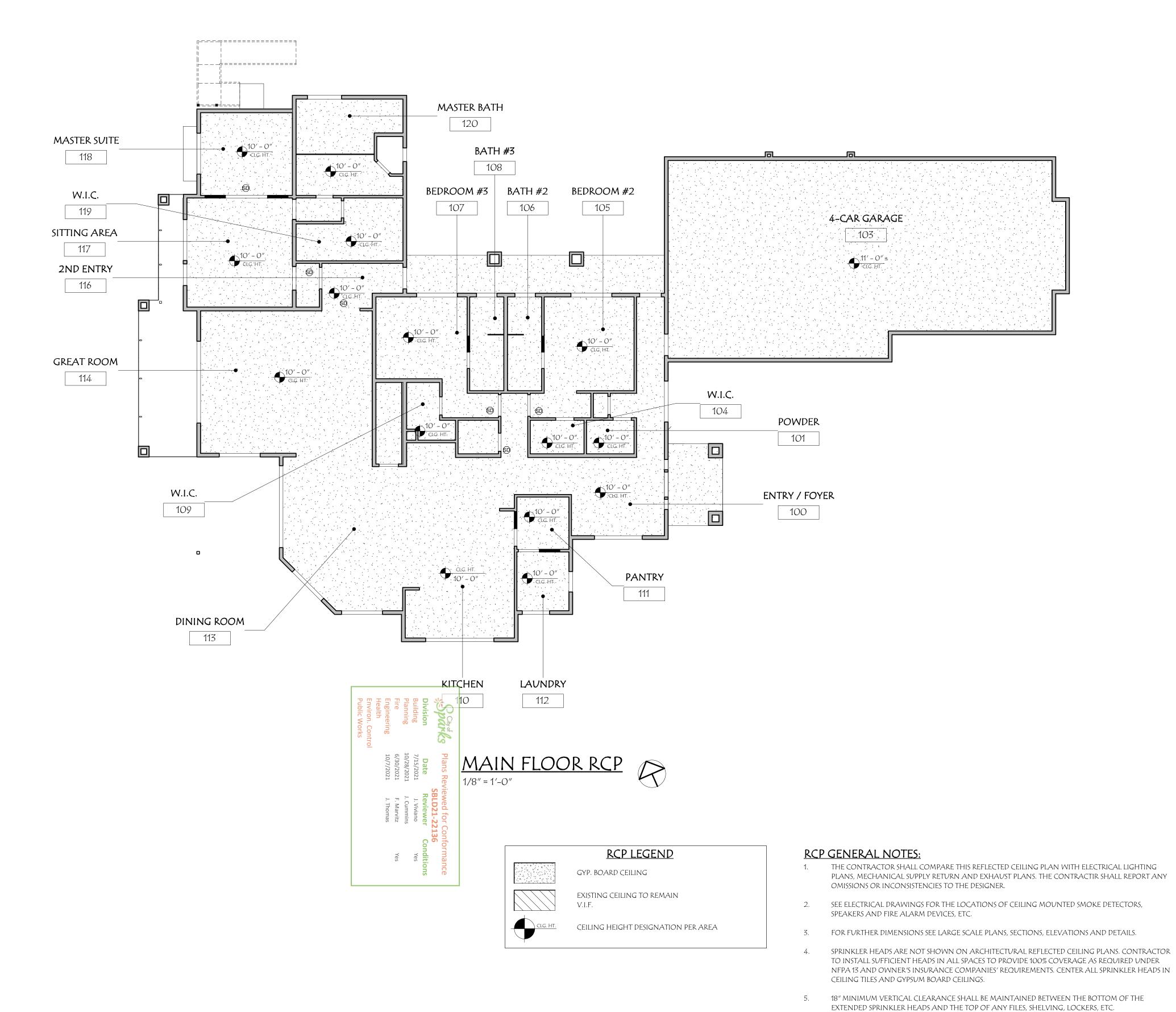
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BASEMENT FLOOR RCP

1/8" = 1'-0"



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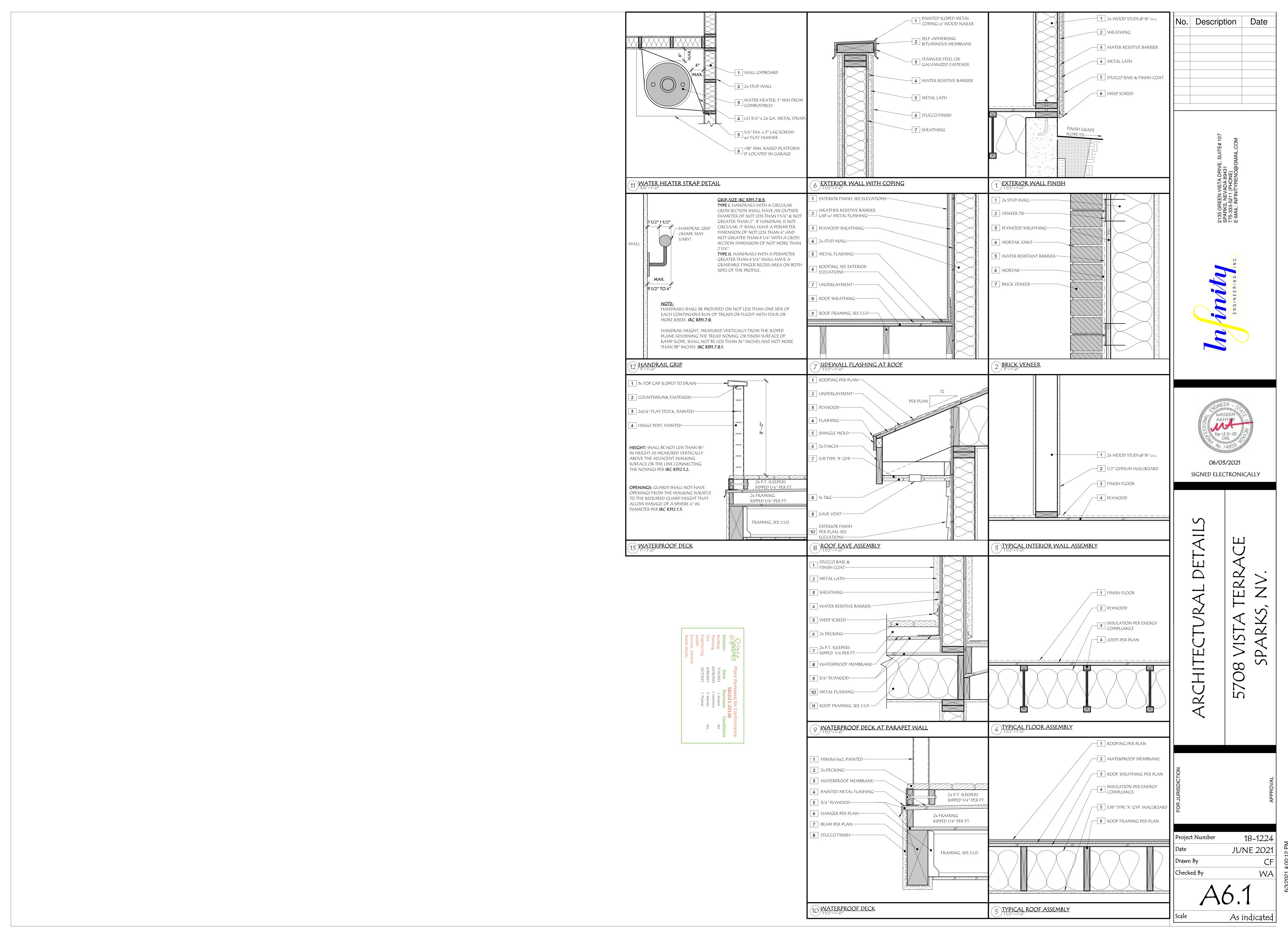
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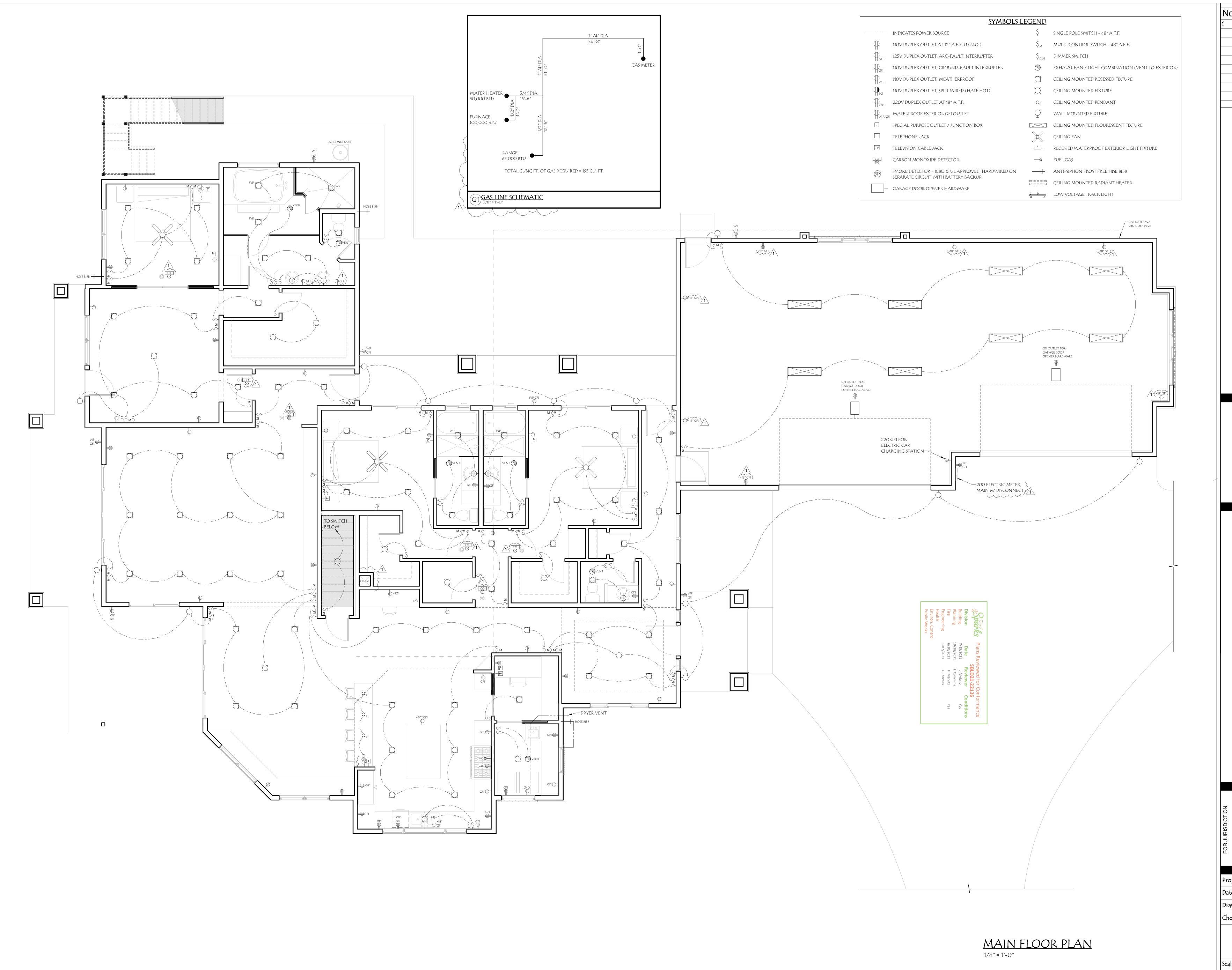
6. ALL CEILING ELEMENTS TO BE PLACED IN THE CENTER OF CEILING TILE OR CENTER OF GYP. BOARD

CEILING AREA U.N.O.

7. ALL CEILING HEIGHTS ARE **10'-0"** U.N.O.

18-1224 JUNE 2021



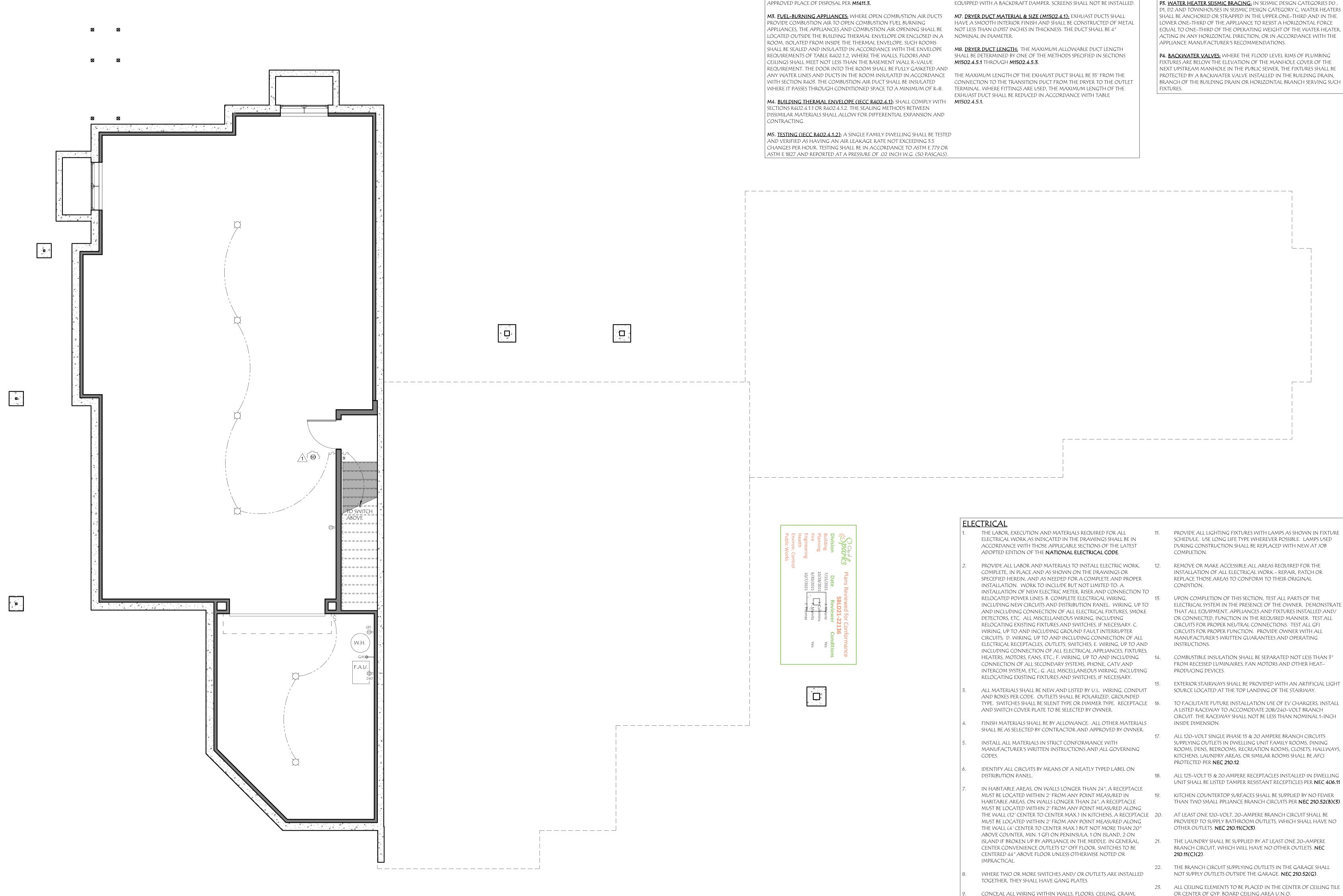


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Project Number 18-1224 JUNE 2021 Drawn By

Checked By As indicated



MECHANICAL NOTES:

M1. FIREPLACES: PER M1801.1, CONTRACTOR SHALL PROVIDE

LISTED FOR USE WITH THE FIREPLACE PER M1804.2.2.

MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FIREPLACES AT

THE TIME OF INSPECTION. ANY DECORATIVE SHROUDS WILL NEED TO BE

M2. <u>Condensate disposal:</u> condensate from cooling coils and

EVAPORATORS SHALL BE CONVEYED FROM THE DRAIN PAN OUTLET TO AN OPENINGS INTO BUILDINGS. EXHAUST DUCT TERMINATIONS SHALL BE

PLUMBING NOTES:

M6. <u>DRYER DUCT TERMINATION (M1502.3):</u> EXHAUST DUCTS SHALL P1. <u>Bath Tubs & Showers:</u> Per P2708.4 and P2713.3 the required TERMINATE ON THE OUTSIDE OF THE BUILDING. EXHAUST DUCT TEMPERATURE LIMITING DEVICES SHALL BE SET AT 120° F. TERMINATIONS SHALL BE IN ACCORDANCE WITH THE DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS. IF THE MANUFACTURER'S

INSTRUCTIONS DO NOT SPECIFY A TERMINATION LOCATION, THE EXHAUST

DUCT SHALL TERMINATE NOT LESS THAN 3' IN ANY DIRECTION FROM

P2. <u>Water Heaters (installed in Garages):</u> Per **P2801.7**, Having an IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE GARAGE FLOOR.

P3. WATER HEATER SEISMIC BRACING: IN SEISMIC DESIGN CATEGORIES DO , D1, D2 AND TOWNHOUSES IN SEISMIC DESIGN CATEGORY C, WATER HEATERS SHALL BE ANCHORED OR STRAPPED IN THE UPPER ONE-THIRD AND IN THE LOWER ONE-THIRD OF THE APPLIANCE TO RESIST A HORIZONTAL FORCE EQUAL TO ONE-THIRD OF THE OPERATING WEIGHT OF THE WATER HEATER. ACTING IN ANY HORIZONTAL DIRECTION, OR IN ACCORDANCE WITH THE APPLIANCE MANUFACTURER'S RECOMMENDATIONS.

P4. <u>BACKWATER VALVES:</u> WHERE THE FLOOD LEVEL RIMS OF PLUMBING FIXTURES ARE BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, THE FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE BUILDING DRAIN, BRANCH OF THE BUILDING DRAIN OR HORIZONTAL BRANCH SERVING SUCH

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PLAN CHECK

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REMOVE OR MAKE ACCESSIBLE ALL AREAS REQUIRED FOR THE INSTALLATION OF ALL ELECTRICAL WORK - REPAIR, PATCH OR replace those areas to conform to their original CONDITION. 13. UPON COMPLETION OF THIS SECTION, TEST ALL PARTS OF THE

ELECTRICAL SYSTEM IN THE PRESENCE OF THE OWNER. DEMONSTRATE THAT ALL EQUIPMENT, APPLIANCES AND FIXTURES INSTALLED AND/ OR CONNECTED, FUNCTION IN THE REQUIRED MANNER. TEST ALL CIRCUITS FOR PROPER NEUTRAL CONNECTIONS. TEST ALL GFI CIRCUITS FOR PROPER FUNCTION. PROVIDE OWNER WITH ALL MANUFACTURER'S WRITTEN GUARANTEES AND OPERATING instructions.

COMBUSTIBLE INSULATION SHALL BE SEPARATED NOT LESS THAN 3" FROM RECESSED LUMINAIRES, FAN MOTORS AND OTHER HEAT-Producing devices.

15. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP LANDING OF THE STAIRWAY.

A LISTED RACEWAY TO ACCOMODATE 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN NOMINAL 1-INCH inside dimension.

ALL 120-VOLT SINGLE PHASE 15 & 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, DENS, BEDROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS, LAUNDRY AREAS, OR SIMILAR ROOMS SHALL BE AFCI PROTECTED PER **NEC 210.12**.

ALL 125-VOLT 15 & 20 AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT SHALL BE LISTED TAMPER RESISTANT RECEPTICLES PER **NEC 406.11**

19. KITCHEN COUNTERTOP SURFACES SHALL BE SUPPLIED BY NO FEWER THAN TWO SMALL PPLIANCE BRANCH CIRCUITS PER **NEC 210.52(B)(3)**.

PROVIDED TO SUPPLY BATHROOM OUTLETS, WHICH SHALL HAVE NO OTHER OUTLETS. **NEC 210.11(C)(3)**.

21. THE LAUNDRY SHALL BE SUPPLIED BY AT LEAST ONE 20-AMPERE BRANCH CIRCUIT, WHICH WILL HAVE NO OTHER OUTLETS. **NEC** 210.11(C)(2).

22. THE BRANCH CIRCUIT SUPPLYING OUTLETS IN THE GARAGE SHALL NOT SUPPLY OUTLETS OUTSIDE THE GARAGE. **NEC 210.52(G)**.

23. ALL CEILING ELEMENTS TO BE PLACED IN THE CENTER OF CEILING TILE OR CENTER OF GYP. BOARD CEILING AREA U.N.O.

BASEMENT FLOOR MEP 1/4'' = 1'-0''

SPACES OR UNDERGROUND. NO EXPOSED WIRING WILL BE ALLOWED

SUPPORTED BY STRUCTURAL MEMBERS OF THE BUILDING, NO TOGGLES

INSTALL ALL LIGHT FIXTURES AND FANS SO THAT THEIR WEIGHT IS

OR EXPANSION FASTENERS THROUGH WALLBOARD WILL BE

WITHOUT PRIOR APPROVAL OF OWNER.

ACCEPTED.

Project Number 18-1224 JUNE 2021 Drawn By

Checked By As indicated



nsulation Rating	R-Value	
Above-Grade Wall	21.00	
Below-Grade Wall	0.00	
Floor	38.00	
Ceiling / Roof	49.00	
Ductwork (unconditioned spaces):		
Glass & Door Rating	U-Factor	SHGC
Window	0.31	
Door	0.31	
leating & Cooling Equipment	Efficiency	
Heating System:		
Cooling System:		
Water Heater:		
Name:	Date:	

Section # & Reg.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [FI1] ¹	Ceiling insulation R-value.	R	R Wood Steel	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [FI2] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			Complies Does Not Not Observable	
402,2,3 [FI22] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			□Not Applicable □Complies □Does Not □Not Observable □Not Applicable	
402.2.4 [FI3] ¹	Attic access hatch and door insulation ≥R-value of the adjacent assembly.	R	R	Complies Does Not Not Observable Not Applicable	-
402.4.1.2 [FI17] ¹	Blower door test @ 50 Pa. <=5 ach in Climate Zones 1-2, and <=3 ach in Climate Zones 3-8.	ACH 50 =	ACH 50 =	□Complies □Does Not □Not Observable	
403.3.3 [FI27] ¹	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	cfm/100	cfm/100	□ Not Applicable □ Complies □ Does Not □ Not Observable □ Not Applicable	
403.3.4 [FI4] ¹	Duct tightness test result of <=4 cfm/100 ft2 across the system or <=3 cfm/100 ft2 without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framling Inspection.	cfm/100	cfm/100	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403,3,2,1 [FI24] ¹	Air handler leakage designated by manufacturer at <=2% of design air flow.			□Complies □Does Not □Not Observable □Not Applicable	
403.1.1 [FI9] ²	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403,1.2 [FI10] ²	Heat pump thermostat installed on heat pumps.			Complies Does Not Not Observable Not Applicable	
403.5.1 [FI11] ²	Circulating service hot water systems have automatic or accessible manual controls.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Report date: 06/03/21

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Project Title: Proulx Residence

Project Title: Proulx Residence

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Section # & Reg.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1			□Complies □Does Not □Not Observable □Not Applicable	
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			□Complies □Does Not □Not Observable □Not Applicable	
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermossyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			Complies Does Not Not Observable Not Applicable	
403.5.1.2 [Fi29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			□Complies □Does Not □Not Observable □Not Applicable	
403.5.2 [FI30] ²	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to <= 104°F.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA 855.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			Complies Does Not Not Observable Not Applicable	
404.1 [FI6] ¹	90% or more of permanent fixtures have high efficacy lamps.			Complies Does Not Not Observable Not Applicable	
404.1.1 [FI23] ³	Fuel gas lighting systems have no continuous pilot light.			□Complies □Does Not □Not Observable □Not Applicable	
401.3 [FI7] ²	Compliance certificate posted.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

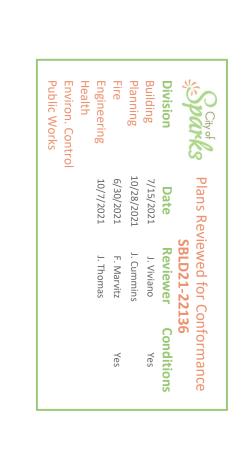
Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303,3 [F(18] ³	Manufacturer manuals for mechanical and water heating systems have been provided.			Complies Does Not Not Observable Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

U =	Value	Value	Complies?	Comments/Assumptions
Glazing U-factor (area-weighted average).	U	U	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			Complies Does Not Not Observable Not Applicable	
Air barrier and thermal barrier installed per manufacturer's instructions.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			□Complies □Does Not □Not Observable □Not Applicable	
IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			Complies Does Not Not Observable Not Applicable	
Supply and return ducts in attics insulated $>= R-8$ where duct is $>= 3$ inches in diameter and $>= R-6$ where < 3 inches. Supply and return ducts in other portions of the building insulated $>= R-6$ for diameter $>= 3$ inches and $R-4.2$ for < 3 inches in diameter.			□Complies □Does Not □Not Observable □Not Applicable	
Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			□Complies □Does Not □Not Observable □Not Applicable	
Building cavities are not used as ducts or plenums.			Complies Does Not Not Observable Not Applicable	
HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R	R	□Complies □Does Not □Not Observable □Not Applicable	
Protection of insulation on HVAC piping.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
Hot water pipes are insulated to ≥R-3.	R	R	□Complies □Does Not □Not Observable □Not Applicable	
Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			□Complies □Does Not □Not Observable □Not Applicable	
	are determined in accordance with the NFRC test procedure or taken from the default table. Air barrier and thermal barrier installed per manufacturer's instructions. Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/1.5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits. IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa. Supply and return ducts in attics insulated >= R-8 where duct is >= 3 inches in diameter and >= R-6 where < 3 inches .Supply and return ducts in other portions of the building insulated >= R-6 for diameter >= 3 inches and R-4.2 for < 3 inches in diameter. Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable. Building cavities are not used as ducts or plenums. HVAC piping conveying fluids above 105 % or chilled fluids below 55 % are insulated to ≥R-3. Protection of insulation on HVAC piping. Hot water pipes are insulated to ≥R-3. Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.	are determined in accordance with the NFRC test procedure or taken from the default table. Air barrier and thermal barrier installed per manufacturer's instructions. Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits. IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa. Supply and return ducts in attics insulated >= R-8 where duct is >= 3 inches in diameter and >= R-6 where < 3 inches in other portions of the building insulated >= R-6 for diameter >= 3 inches in diameter. Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable. Building cavities are not used as ducts or plenums. HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3. Protection of insulation on HVAC piping. Hot water pipes are insulated to ≥R-3. Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.	are determined in accordance with the NFRC test procedure or taken from the default table. Air barrier and thermal barrier installed per manufacturer's instructions. Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/1.5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits. IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa. Supply and return ducts in attics insulated >= R-8 where duct is >= 3 inches in diameter and >= R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated >= R-6 for diameter >= 3 inches and R-4.2 for <3 inches in diameter. Ducts, air handlers and filter boxes are sealed with joints/seams compliant with international Mechanical Code or International Mechanical Code, as applicable. Building cavities are not used as ducts or plenums. HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3. Protection of insulation on HVAC piping. Hot water pipes are insulated to R	U-factors of fenestration products are determined in accordance with the NFRC Test procedure or taken from the default table. Air barrier and thermal barrier installed per manufacturer's instructions. Air barrier and thermal barrier installed per manufacturer's instructions. Air barrier and thermal barrier installed per manufacturer's instructions. Air barrier and thermal barrier installed per manufacturer's instructions. Air barrier and thermal barrier installed per manufacturer's instructions. Air barrier and thermal barrier installed per manufacturer's instructions. Air barrier and thermal barrier installed per manufacturer's instructions. Air barrier and thermal barrier installed per manufacturer's instructions. Air barrier and bale instructions in the per per per per per per per per per pe



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Project Title Data filenar	e: Proulx Residence me:				Report date: 06/03/21 Page 5 of 9
Section					

& Reg.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ²	All installed insulation is labeled or the installed R-values provided.			□Complies □Does Not □Not Observable □Not Applicable	
402.1.1, 402.2.6 [IN1] ¹	Floor insulation R-value.	R	R Wood Steel	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	See the Envelope Assemblies table for values.
303.2, 402.2.8 [IN2] ¹	Floor insulation installed per manufacturer's instructions and in substantial contact with the underside of the subfloor, or floor framing cavity insulation is in contact with the top side of sheathing, or continuous insulation is installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.			□Complies □Does Not □Not Observable □Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] ¹	Wall insulation R-value. If this is a mass wall with at least V_2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R Wood Mass Steel	R Wood Mass Steel	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] ¹	Wall insulation is installed per manufacturer's instructions.			□Complies □Does Not □Not Observable □Not Applicable	

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Project Proulx Residence Energy Code: 2018 IECC Location: Sparks, Nevada Construction Type: Single-family Project Type: New Construction Conditioned Floor Area: 3,739 ft2 Glazing Area 27%

Climate Zone: 5 (5674 HDD) Permit Date: Permit Number: Owner/Agent: Darren Proulx Construction Site: 5708 Vista Terrace Lane Sparks, NV 89436

Designer/Contractor: Waseem Akhtar Infinity Engineering, Inc. 2135 Green Vista Drive, Suite #107 Sparks, NV 89431 (775) 333-5211 Infinityreno@gmail.com

Report date: 06/03/21

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Compliance: Passes using UA trade-off Compliance: 4.4% Better Than Code Maximum UA: 565 Your UA: 540 The % Better of Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

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or	Cavity	Cont. R-Value	U-Factor	UA
3,73	9 49.0	0.0	0.026	97
2,74	4 21.0	0.0	0.057	114
43	6		0.310	135
31	2		0.310	97
3,73	9 38.0	0.0	0.026	97
he proposed building has been designe th the mandatory requirements listed i	d to meet th	e 2018 IECo ck Inspection	C requireme on Checklist	ents in
. T	3,73 2,74 43 31 3,73 esign described here is consistent with the	Perimeter R-Value 3,739 49.0 2,744 21.0 436 312 3,739 38.0 esign described here is consistent with the building plan. The proposed building has been designed to meet the with the mandatory requirements listed in the RESche	Perimeter R-Value R-Value 3,739 49.0 0.0 2,744 21.0 0.0 436 312 3,739 38.0 0.0 esign described here is consistent with the building plans, specifical to the proposed building has been designed to meet the 2018 IECO with the mandatory requirements listed in the REScheck Inspection	3,739

Project Title: Proulx Residence Data filename:

REScheck Software Version : REScheck-Web Inspection Checklist Energy Code: 2018 IECC

Requirements: 0.0% were addressed directly in the REScheck software

Additional Comments/Assumptions:

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] ¹	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			□Complies □Does Not □Not Observable □Not Applicable	
103.1, 103.2, 403.7 [PR3] ¹	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			□Complies □Does Not □Not Observable □Not Applicable	
302.1, 403.7 [PR2] ²	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr Cooling: Btu/hr	Heating: Btu/hr Cooling: Btu/hr	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: Proulx Residence Report date: 06/03/21 Data filename:

Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303,2.1 [FO11] ²	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	
403.9 [FO12] ²	Snow- and ice-melting system controls installed.		
9/			

No. Description





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Project Number 18-1224 JUNE 2021 Drawn By Checked By

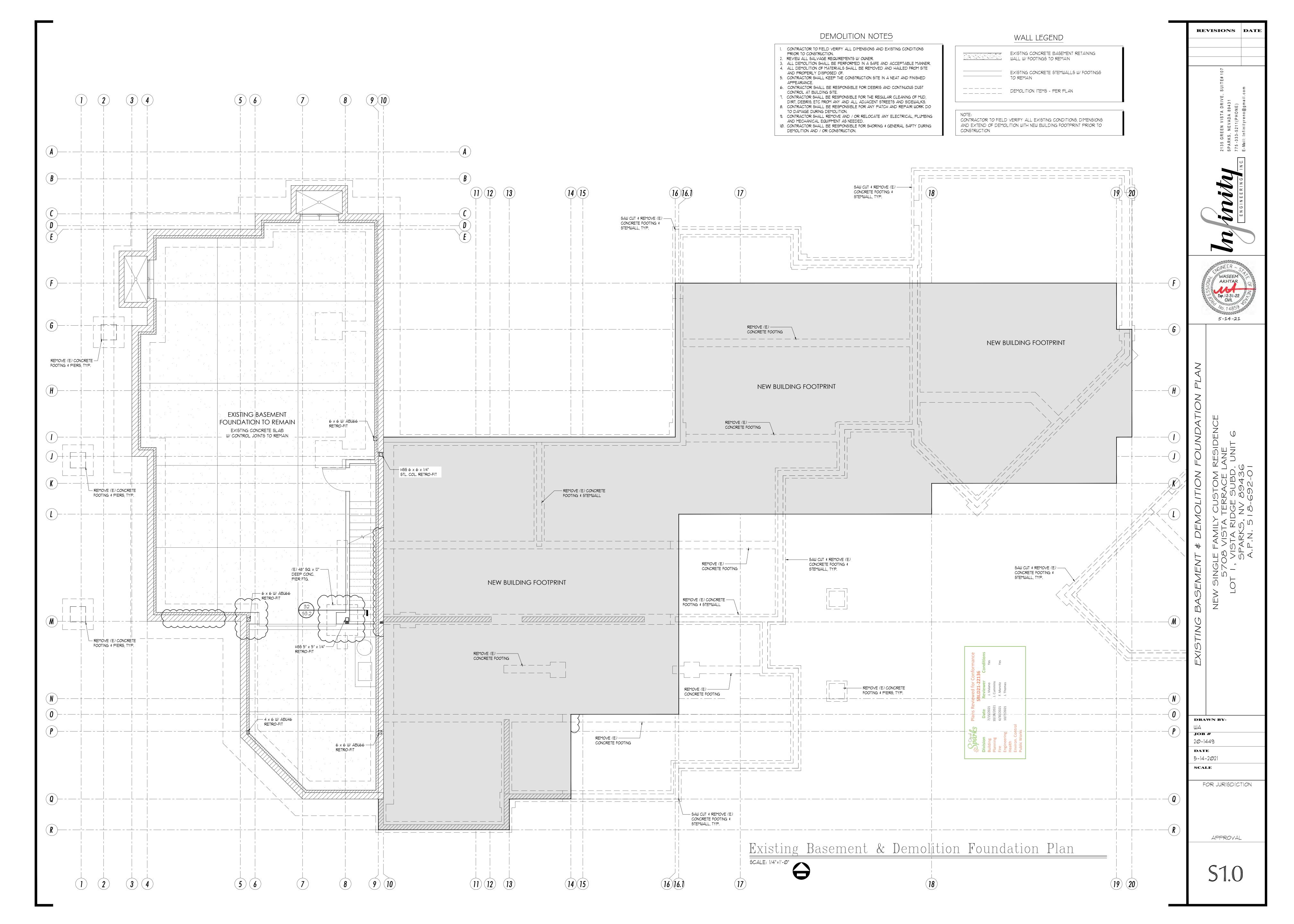


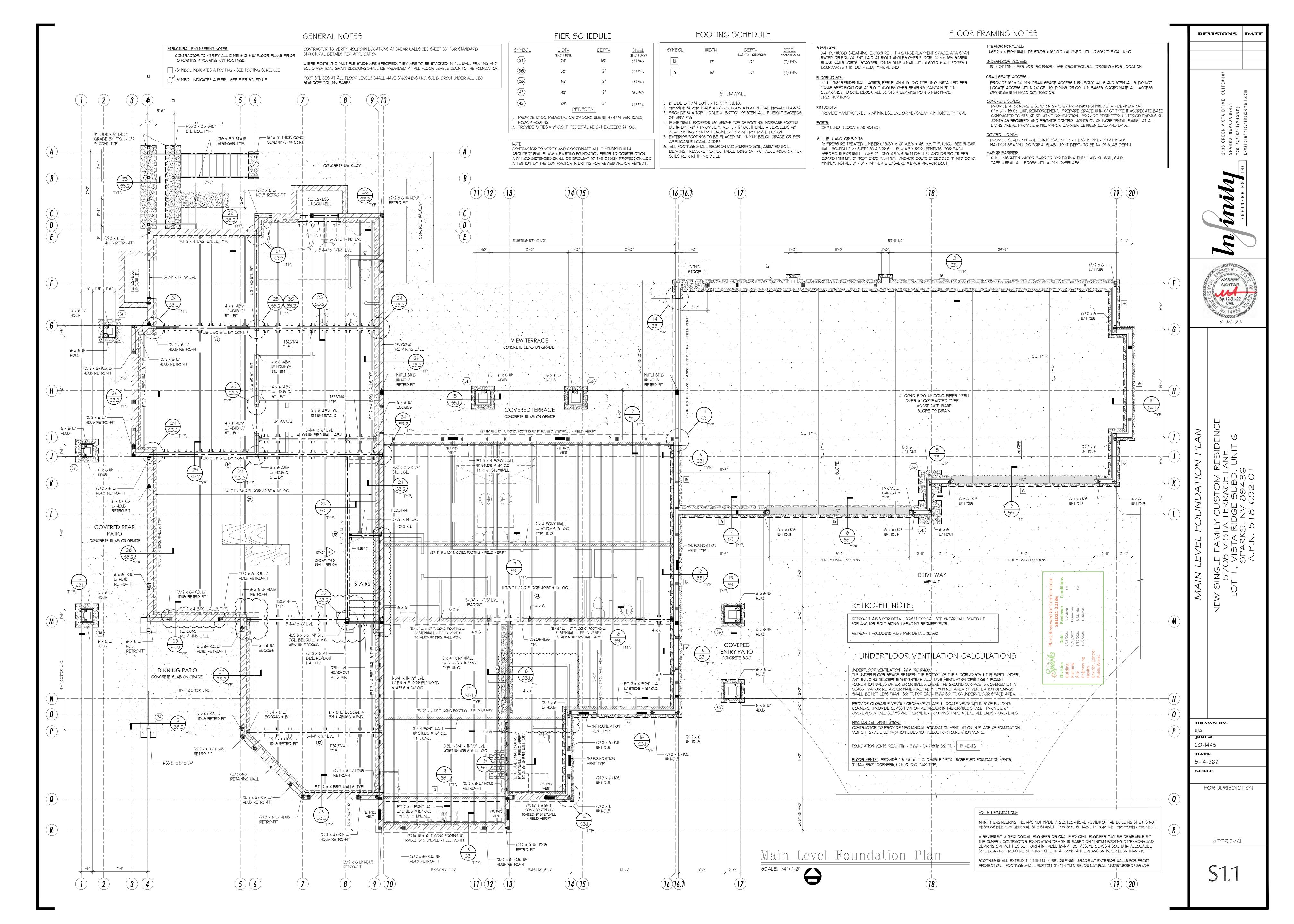
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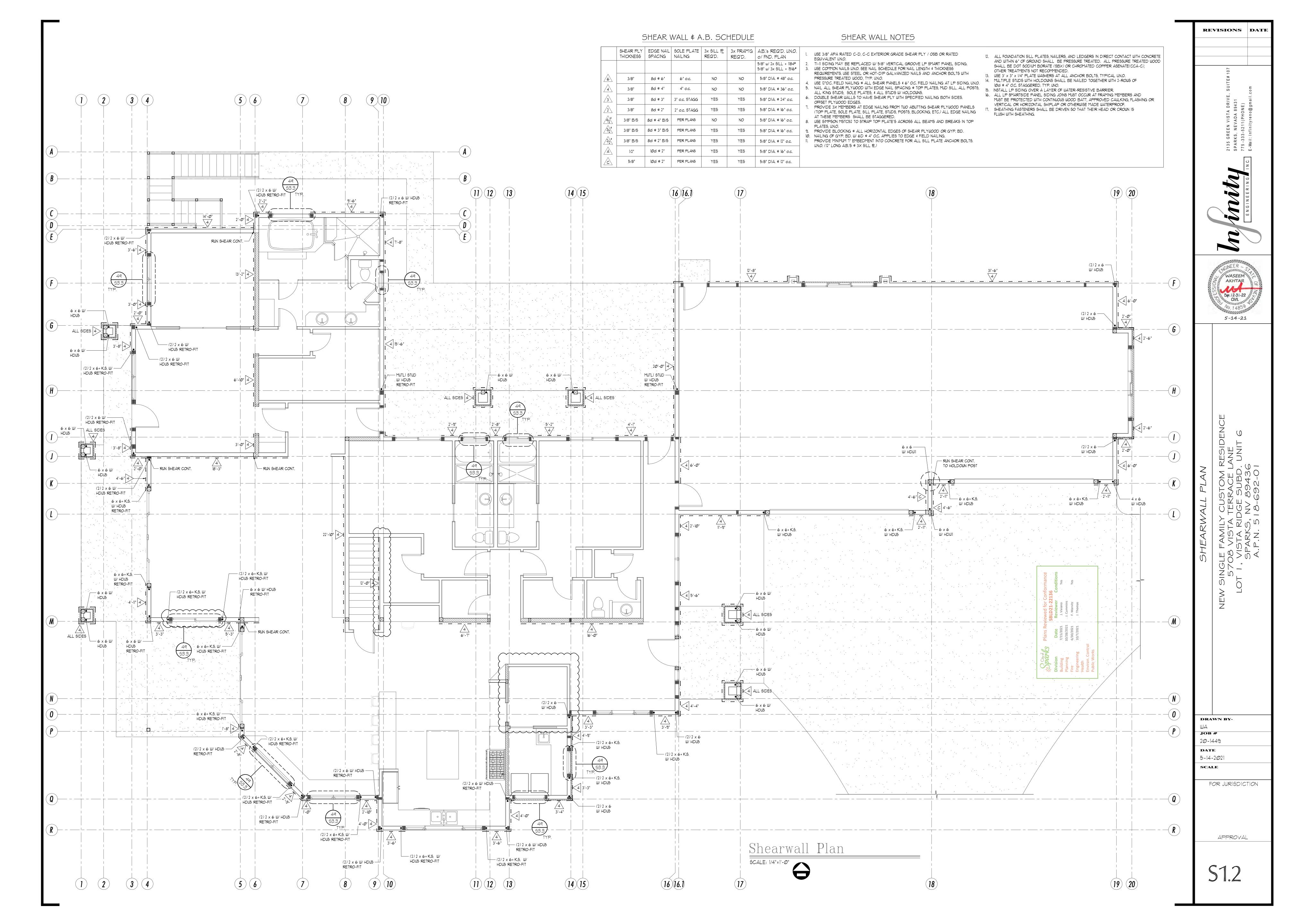
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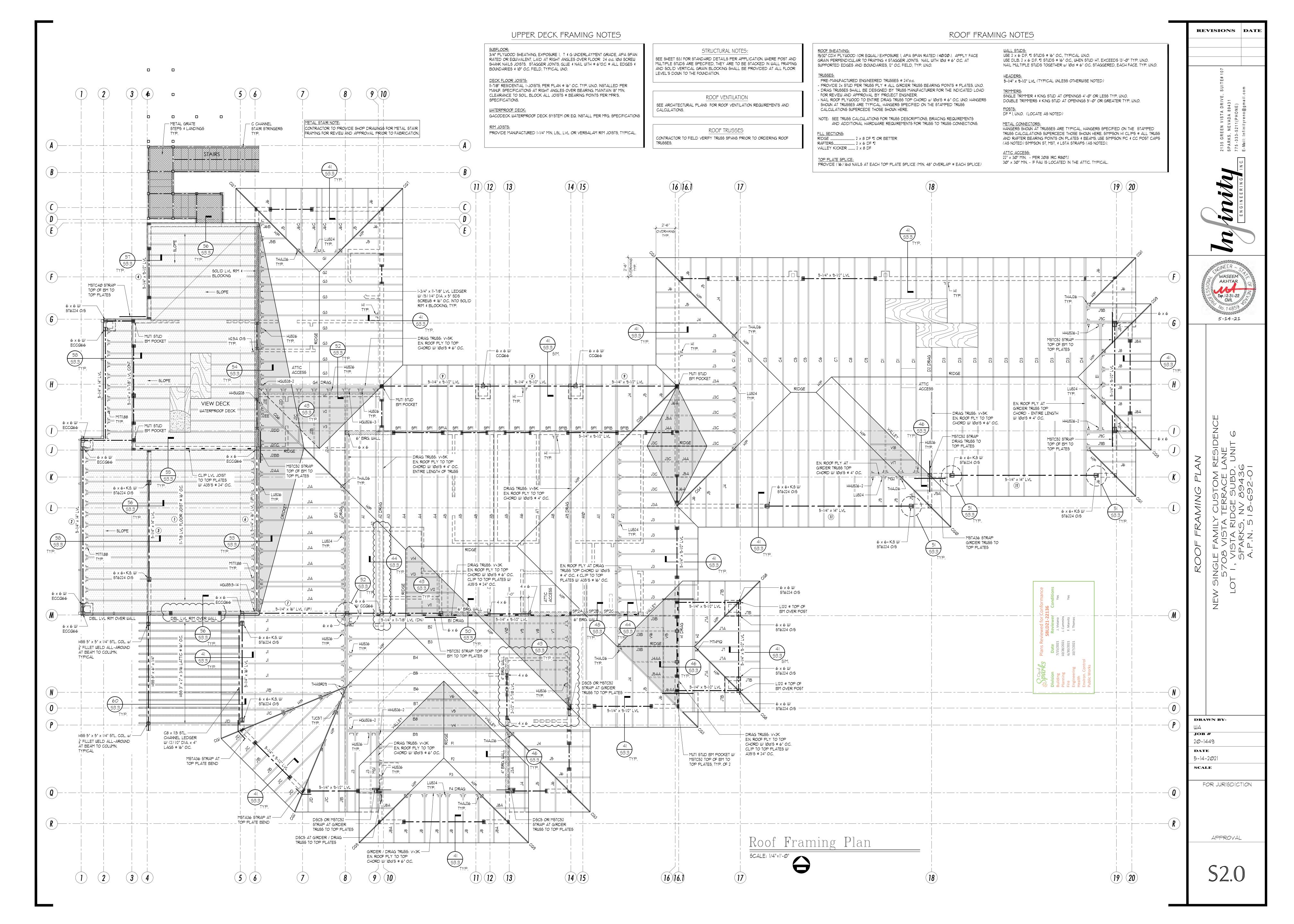
18-1224 JUNE 2021

As indicated









HARDWARE & STRUCTURAL STEEL ALL HARDWARE SPECIFIED SHALL BE SIMPSON STRONG-TIE CO. (OR EQUAL) INSTALLED PER MANUFACTURER'S 2. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36, UN.O., PIPE COLUMNS SHALL CONFORM TO ASTM A53, TYPE E OR S, UN.O. TUBE SECTIONS SHALL CONFORM TO ASTM 500, GRADE B, UN.O. 3. ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY SPECIFICATIONS. ALL WELDING SHALL BE DONE BY WELDERS CERTIFIED BY THE LOCAL BUILDING AUTHORITY. ALL SHOP WELDING SHALL BE IN AN APPROVED FABRICATORS SHOP AUTHORIZED BY THE LOCAL BUILDING AUTHORITY OR SPECIFIC INSPECTION PER THE IBC SHALL BE PROVIDED. ALL FIELD WELDING SHALL REQUIRE SPECIAL INSPECTION PER IBC SECTION 1704. 4. ALL WELDING ELECTRODES SHALL BE ETOXX OR SHIELDED WIRES WITH FY GREATER THAN 10 ksi. 5. ALL NAILS SPECIFIED ARE COMMON NAILS. NO SUBSTITUTIONS UNLESS SPECIFIED ON PLANS OR IN THESE CALCULATIONS OR APPROVED IN WRITING BY ENGINEER 5. THE MINIMUM NAILING FOR ALL FRAMING SHALL CONFORM TO IBC TABLE 23/04.9.1. I. ALL BOLTS SPECIFIED MUST MEET ASTM A301. BOLT HOLES SHALL BE 1/32" TO 1/16" LARGER THAN THE SPECIFIED BOLT. WASHERS SHALL BE USED AT EACH BOLT HEAD AND NUT NEXT TO WOOD. ALL WASHERS TO BE NOT LESS 8. ALL REINFORCING STEEL SHALL CONFORM TO A.S.T.M. A-615-60, GRADE 60. 9. ALL WELDED WIRE FABRIC TO CONFORM TO A.S.T.M. A-185. LAP TO BE 1-1/2" SPACES. (12" MIN.), YIELD STRENGTH=60 ksi IØ. PER IBC SECTINO 2304.10.5.1 FASTENERS AND CONNECTORS FOR PRESERVATIVE-TREATED WOOD. FASTENERS, INCLUDING NUTS AND WASHERS, IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER TRUSSES ALL PREFABRICATED TRUSSES SHALL BE FABRICATED BY A CODE APPROVED MANUFACTURER. THE MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND CERTIFICATION OF THE TRUSSES. IT IS THE RESPONSIBILITY OF THE MANUFACTURER TO CONFORM THE TRUSS DESIGN ACCORDING TO THE LOADING CONDITIONS AS CALLED FOR IN THESE CALCULATIONS, SUCH AS (1) LIVE AND DEAD LOADS: (2) TRUSS SPACING: (3) SPANS AND EAVE OVERHANGS: (4) ROOF PITCH: (5) BEARING POINTS: AND (6) DRAG LOADS. TRUSS MANUFACTURER SHALL SUPPLY TO THE ENGINEER CALCULATIONS AND SHOP DRAWINGS FOR APPROVAL ALL CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED BY A REGISTERED ENGINEER IN THE STATE IN WHICH TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST LOCAL APPROVED CODES AND ORDINANCES FOR ALL LOADS IMPOSED, INCLUDING LATERAL LOADS AND MECHANICAL EQUIPMENT LOADS. TRUSS FABRICATOR SHALL REVIEW ALL ARCHITECTURAL DRAWINGS AND MEET ARCHITECTURAL PROFILES AS INDICATED. SHOP DRAWINGS SHALL ALSO INCLUDE THE FOLLOWING INFORMATION: A) PROJECT NAME AND LOCATION. B) ALL DESIGN LOADS AS SET FORTH IN THESE CALCULATIONS. C) MEMBER STRESSES, DEFLECTIONS, TYPE OF JOINT PLATES, AND ALLOWABLE DESIGN VALUES. TRUSS JOINTS SHALL BE DESIGNED PER REQUIREMENTS OF TRUSS TYPE, SIZE, AND LOCATION OF HANGERS TO BE USED FOR THE PROJECT. HANGERS SHALL BE DESIGNED TO SUPPORT THE FULL VERTICAL LOAD AND A LATERAL LOAD EQUAL TO 20% OF THE VERTICAL REACTION. ALL CONNECTORS SHALL BE CODE APPROVED AND OF ADEQUATE STRENGTH TO RESIST STRESSES DUE TO THE 8. THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL TRUSS TO TRUSS CONNECTIONS. ALL TRUSS TO GIRDER CONNECTIONS, AND IF THE GIRDER TRUSS IS MADE UP OF MORE THAN ONE TRUSS, ALL CONNECTIONS BETWEEN THESE 9. THE TRUSS MANUFACTURER SHALL INSURE THAT THE TRUSS PACKAGE MEETS THE PROFILE AS REQUIRED BY THE IØ. TOTAL LOAD DEFLECTION SHALL BE LIMITED TO L/24Ø. LIVE LOAD DEFLECTION SHALL BE LIMITED TO L/36Ø. TRUSSES ARE TO BE HANDLED, INSTALLED, AND BRACED IN ACCORDANCE WITH HIB-91 OF THE TPI. CROSS BRIDGING AND/OR BRACING SHALL BE PROVIDED FOR AND DETAILED BY TRUSS MANUFACTURER AS REQUIRED TO 12. WHERE TRUSS BLOCKING IS CALLED OUT, THE BLOCKING PIECE SHALL BE THE SAME DEPTH AS THE ADJOINING MEMBERS AND CAPABLE OF RESISTING A LATERAL LOAD EQUAL TO 500 POUNDS IN ITS PLANE, OR BE SHEATHED WITH 1/2" CDX PLYWOOD AND NAILED WITH 10D COMMON NAILS AT 6" O.C. EDGE NAILING. THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL TRUSSES USED AS DRAG OR CHORD MEMBERS AND SHALL INSURE THAT SUCH TRUSSES ARE PLACED AS REQUIRED ON THE FRAMING PLANS. THE AMOUNT OF LOAD TO BE LATERALLY TRANSMITTED BY THE MEMBER SHALL BE A MINIMUM OF 2000 POUNDS UNLESS OTHERWISE SHOWN ON THE FRAMING PLANS. THE TRUSS MANUFACTURER SHALL PROVIDE A MEANS OF ATTIC ACCESS WHEN SPACING IS 16 OC OR LESS. GABLE END TRUSSES SHALL BE STRUCTURAL, DESIGNED TO SUPPORT OVERHANG AND TO ALLOW A TOP CHORD 16. GIRDER TRUSSES ARE TO BE SUPPORTED BY MULTIPLE TRIMMERS. ALL NON-BEARING WALLS ARE TO HAVE A 1/2" GAP TO THE BOTTOM CHORD OF TRUSSES. 18. WHEN SNOW LOADS EXCEED 50/PSF THE TRUSSES SHALL BE STACKED OVER WALL STUDS AT BEARING POINTS. GLUE LAMINATED LUMBER (GLB) GLUE LAMINATED BEAMS SHALL BE DOUGLAS FIR-LARCH, WITH 1-1/2" OUTER & CORE LAMINATIONS AND SHALL BE ALL GLUE LAMINATED BEAM SHALL BE UNCAMBERED, UN.O. A "CERTIFICATE OF INSPECTION" BY AN APPROVED INSPECTION AGENCY, SHALL BE SUBMITTED TO THE BUILDING GLU-LAMS EXPOSED TO WEATHER MUST BE RATED FOR EXTERIOR USE BY THE MANUFACTURER OR APPROVED PROTECTION FROM EXPOSURE TO BE PROVIDED. LAMINATED STRAND LUMBER (LSL) LAMINATED STRAND LUMBER (LSL) SHALL BE FABRICATED BY TRUSJOIST MACMILLAN & CONFORM TO I.C.C. REPORT NO. 4919. AN I.C.C. APPROVED EQUAL IN STRUCTURAL DESIGN VALUES ME BE USED AS LSL SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES: 1*500,000* PSI 1700 PSI 1,7*00,000* PSI 2600 PSI Fc. COMPRESSION PERPENDICULAR TO GRAIN, ____680 PSI PARALLEL STRAND LUMBER (PSL) PARALLEL STRAND LUMBER (PSL) SHALL BE FABRICATED BY TRUSJOIST MACMILLAN & CONFORM TO I.C.C. REPORT NO. NER-292. AN I.C.C. APPROVED EQUAL IN STRUCTURAL DESIGN VALUES ME BE USED PSL SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES: E, MODULUS OF ELASTICITY _______2,000,000 PSI2900 PSI29Ø PSI NO FIELD MILLING OR PLANING ALLOWED, ALL MILLING OR PLAINING TO TAKE PLACE AT THE FACTORY LAMINATED VENEER LUMBER (LVL) ALL LYL / PSL / POWER BEAM / VERSA-LAM MUST HAVE CURRENT ICC REPORT NUMBERS. LVL, PSL, POWER BEAM / VERSA-LAM SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES: ___2800 PSI ___285 PSI NO FIELD MILLING OR PLAINING ALLOWED, ALL MILLING OR PLAINING TO TAKE PLACE AT THE FACTORY OR 4. DOUBLE & TRIPPLE 1-3/4" LYL'S SHALL BE FASTEN TOGETHER WITH (3) ROWS OF 16D NAILS @ 12"O.C. WITH 2" QUADRUPLE 1-3/4" LYL'S SHALL BE ATTACHED WITH STANDARD (A301) 1/2" DIA, M.B.'S @ 18" O.C. SPECIAL INSPECTION SCHEDULE SPECIAL INSPECTIONS AS REQUIRED PER IBC, CHAPTER 17. SIMPSON STEEL STRONG WALL INSTALLATION PER MANUFACTURERS SPECIFICAIONS

		ABBREVIATIO	NS		
Additional	ADD'L	Footing	FTG	Pressure Treated or	
Anchor Bolt	A.B.	Foundation	FDN	Preservative Treated	PT
At	a	Glued Laminated Beam	GLB	Redwood	RWD
Beam	BM	Gypsum Board	GYP BD	Required	REQ'D
Bearing	BRG	Hanger	HGR	Schedule	SCHEI
Blocking	BLKG	Header	HDR	Shear Wall	SW
Both Sides	B/\$	Hem-Fir	HF	Similar	SIM
Boundary Nailing	B.N.	Holdown	HD	Specification	SPEC
Cantilever	CANT	Horizontal	HORIZ	Square	5Q
Centerline	€	Interior	INT	Square Footage	ф
Column	COL	Joist .	JST	Staggered	STAGO
Concrete	CONC	Laminated Veneer Lumber	LYL	Standard	STD
Concrete Masonry Unit	CMU	Live Load	LL.	Steel	STL
Continuous	CONT	Machine Bolt	M.B.	Structural	STRUC
Dead Load	D.L.	Manufacturer	MFR	Threaded	THR'D
Detail	DET/DTL	Maximum	MAX	Toe Nail	T.N.
Diameter	ф Дia	Micro-Lam (Truss Joist)	ML	Tongue & Groove	T4G
Double	DBL	Minimum	MIN	Top Of	T.O.
Douglas Fir, North	DF	Not Applicable	N/A	Tube Steel	T.S.
Drawing	DWG	Not to Scale	NTS	Typical	TYP
Each	EA	Number / Pounds	*	Uniform Building Code	UBC
Each End	EE	On Center	o.c.	Unless Noted Otherwise	UNO
Each Side	ES	One Side	<i>0</i> /s	Verify In Field	VIF
Edge Nailing	E.N.	Over / On	0/	Vertical	VERT
Embedment	EMBED	Parallel Strand Lumber	PSL	Welded Wire Fabric	wwf
Equal	EQ	Plate	f2 '	Welded Wire Mesh	wwm
Existing	(E)	Plywood P.W. or	PLY	With	w/
Exterior	EXT	Pounds Per Square Foot	PSF		
Field Nail / Face Nail	F.N.	Pounds Per Square Inch	PSI		
Floor	FLR	·			

) TYPICAL 6 & 12 NAILING, U.N.O. 2) 6" O.C. AT EDGES \$ 6" O.C. FIELD NAILING TYP, U.N.O. (3) 4" O.C. AT EDGES & 6" O.C. ✓ FIELD NAILING. TYP, U.N.O.

NAIL SCHEDULE

		COMMON	<u>l, (TYP, U.N.O.)</u>		<u>BOX</u>		SINKER			
	WIRE #	WIRE GAUGE	PEN. INTO MAIN MEMBER	WIRE 0	WIRE GAUGE	PEN. INTO MAIN MEMBER	WIRE +	WIRE GAUGE	PEN. INTO MAIN MEMBER	
8d	Ø.131 '	101/4	1.625" MIN	Ø.113"	111/2	1.36' MIN.	N/A	N/A	N/A	
1Ød	Ø.148'	9	1.78" MIN.	Ø.128'	101/2	1.54" MIN.	N/A	N/A	N/A	
16d	Ø.162'	8	1.94" MIN.	Ø.135 "	10	1.62" MIN	Ø.148"	8	1.78" MIN.	

HOLDOWN SPECIFICATION TABLE

CONTRACTOR TO VERIFY ALL H.D. INFORMATION W/

	SIMPSON STRONG-TIE CATALOG PRIOR TO INSTALLATION									
HOLDOWN SYMBOL	HOLDOWN	CL	MIN. STUDS	STUD BOLTS		ED-ROD EMBED.	SSTB BOLT (SINGLE POUR)	SSTB BOLT EMBEDMENT		
U2	HDU2	11/4"	3"	6-SDS14x21/2"	5/8" ቀ	12"	55TB 16	12"		
U4	HDU4	11/4"	3"	10-SDS14x21/2"	5/8" ¢	14"	55TB 2Ø	16"		
U5	HDU5	11/4"	3"	14-SDS1/4×21/2"	5/8" ¢	18"	991B 24	20"		
SU	HDU8	11/4"	3½"	2Ø-SDS¼x2½"	7/8" ø	20"	55TB 28	24"		
uii	HDUII	11/4"	5½"	3Ø-SDS14x21/2"	1" φ	2Ø"	N/A	N/A		
UI4	HDU14	1916"	5½"	36-SDS14x21/2")" φ	26"	N/A	N/A		
Q8	HDQ8	11/4"	41/2"	2Ø-SDS ¹ 4×3	7/8" ¢	24"	55TB 28	24"		
QII	HHDQII	ا ^ا ⁄2"	51/2"	24-SDS ¹ / ₄ ×2 ¹ / ₂ "]" φ	24"	N/A	N/A		
Q14)	HHDQ14	ا ^ا ⁄2"	51/2"	3Ø-SDS1/4×21/2"	1" φ	24"	N/A	N/A		
HT4	HTT4	13/8"	3"	(32) lØd's	5/8" ¢	20"	991B 24	2Ø"		
HT5	HTT5	13/8"	3"	26-16d x 2½"	5/8" ¢	20"	991B 24	20"		
D12	HD12	2½"	5½"	4 - 1"4	1 ½"¢	24"	N / A.	N/A		
(PIQ)	HD19	21/8"	51/2"	Ð - 1"Φ	1 1/4" \$	24"	N/A	N / A		

	INSTALLATION REQUIRED IENTS
3.	PLYWOOD SHALL BE EN. ® HOLDOWN STUDS/POSTS.
4.	ALL HOLDOWNS TO BE BOLTED, NAILED, OR SCREWED TO POST/STUDS PER PLAN, UN.O.
5.	ANCHOR BOLTS FOR HHDQII, HDUII & GREATER AND ALL THREADED ROD OPTIONS TO BE TIED TO (1) *4
	VERTICAL, DEVELOPED INTO FOOTING W/ 90° BEND. PROVIDE (1) *4 HORIZONTAL @ TOP OF STEMWALL @ ALL
	HD ANCHOR BOLTS.
6.	HOLDOWN ANCHOR BOLTS ARE DESIGNED FOR UPLIFT ONLY, STANDARD MUDSILL ANCHOR BOLTS ARE
	REQUIRED (SPACING PER PLAN)
٦.	PROVIDE SOLID DBL. RIM JOIST OR SOLID BLOCKING & ALL HOLDOWNS.
	PROVIDE SOLID VERTICAL GRAIN CRUSH BLOCKS AT FLOOR @ HHDQ8, HHDQ11, HHDQ14, HDU8, HDU11 & HDU14
9.	SCREWS FOR PHD, HHDQ, HDU HOLDOWNS SHALL BE SIMPSON SDS1/214.
10.	ALL END CONDITIONS FOR THREADED RODS SHALL HAVE (2) NUTS AND (1) $\frac{1}{4}$ × 3" SQ. IP. WASHER MINIMUM.
	1 1
	SEE TABLE FOR
	THREADED ROD SIZE
	(2) NUTS & WASHER
	AS SHOWN

2. ALL HOLDOWN ANCHOR BOLTS SHALL BE AS SPECIFIED PER PLAN AND SHALL MEET MANUFACTURERS MINIMUM

HOLDOWN INFORMATION

INSTALLATION REQUIREMENTS

1. ALL HOLDOWNS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

MASONRY
BRICK SHALL BE MEDIUM WT. (MW) GRADE IN ACCORDANCE WITH A.S.T.M. C-162, WITH AN ALLOWABLE COMPRESSIVE
STRENGTH OF 2000 PSI. 2. ALL CONCRETE BLOCK SHALL CONFORM TO A.S.TM. C-90, GRADE N OR N-, LIGHT WT. OR
MEDIUM WT. WITH F'm = 1500 PSI (MINIMUM)
AGGREGATE SHALL CONFORM TO A.S.T.M. C-144 (MORTER) & A.S.T.M. C-404 (GROUT).
PORTALAND CEMENT SHALL BE AS SPECIFIED FOR CONCRETE.
MODITED CITALL DE TYPE C

GROUT AND MORTER SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI. PROVIDE 2-1/2" MIN. GROUT SPACE & 1/2" GROUT BETWEEN REINFORCING BARS AND MASONRY. ALL MAGONRY SHALL BE REINFORCED GROUTED MAGONRY. GROUT SOLID ALL CELLS WHICH CONTAIN RE-BAR, A.B.'S, ETC. GROUT SOLID ALL CELLS BELOW GRADE. 8. COMPLY WITH ACI 530 AND 2012 IBC FOR MASONRY CONSTRUCTION SPECIAL INSPECTION REQUIRED IF NOTED ON PLANS TEST PRISM AND CONSTRUCTED WALL SHALL EXHIBIT MINIMUM COMPRESSIVE STRENGTH (Fim.) OF 1500 PSI AT 28 DAYS

10. REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60. VERTICAL BARS SHALL BE HELD IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 8'-0" WITH MINIMUM CLEARANCE OF 3/4" FROM MASONRY AND NOT LESS THAN 1-1/2 BAR DIAMETERS BETWEEN BARS. 12. PLACE REINFORCING AS SHOWN ON THE DRAWINGS.

13. VERTICAL REINFORCING BARS MAY BE SPLICED IN 6' TO 8' LENGTHS. MINIMUM LAP SPLICES SHALL BE IN ACCORDANCE WITH THE DRAWINGS, ALL BARS SHALL BE TIED TOGETHER AT SPLICES.

	<u>DESIGN CRITERIA</u>
4	SNOW, WIND, & SEISMIC DESIGN FACTORS - CODE EDITION: 2018 IBC/IRC & ASCE7-16 SITE ELEVATION: 4831 FT. GROUND SNOW LOAD: 30 PSF DESIGN WIND SPEED: YULTIMATE = 120 MPH EXPOSURE C RISK CATAGORY II DESIGN WIND SPEED: YULTIMATE = 120 MPH EXPOSURE C RISK CATAGORY II SEISMIC DESIGN CATEGORY: D OR D2 SEISMIC BASE SHEAR: _0.138 W (Ss = 1.383g, S ₁ = 0.479g, S _{DS} = 0.922g, S _{D1} = 0.786g) RESPONSE MODIFICATION FACTOR, R = 6.5 RISK CATAGORY II, SITE CLASS D DEFAULT IMPORTANCE FACTOR = 1.0 SEISMIC FORCE RESISTING SYSTEMS = LIGHT FRAMED WOOD WALLS SHEATHED WITH WOOD STRUCTURAL PANELS
	TRUSS LOADING: T.C. LIVE/SNOW LOAD

19/32 "CDX APA RATED (40/20) OR OSB EQUIVALENT-APPLY FACE GRAIN PERPENDICULAR TO FRAMING. STAGGER PANELS AND NAIL W/ 10 D COMMON @ 6" O.C. AT ALL SUPPORTED EDGES, GABLE ENDS & FRIEZE BLOCKS & 12" O.C. IN THE FIELD AS PER ROOF SHEATHING NAILING SCHEDULE. TYPICAL UN.O. (FASTENERS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH.) TOP PLATE SPLICES

USE (16) 16D NAILS AT ALL TOP PLATE SPLICES (48' LONG), U.N.O. TYPICAL HEADER

USE 6 x 8 D.F. #1, TYPICAL HEADER, UN.O. USE (2) TRIMMERS @ OPENINGS GREATER THAN 5'-0". TYPICAL, UN.O. WALL FRAMING

USE 2 X 6 D.F. #2 STUDS @ 16 O.C., TYPICAL UN.O. USE DBL. 2 X 6 D.F.*2 STUDS @ 16" O.C. WHEN STUD HEIGHT EXCEEDS 14'-0", TYPICAL U.N.O. NAIL MULTIPLE STUDS TOGETHER W/ 100d @ 4" O.C. STAGGERED EA. FACE. TYP. UNO. FLOOR DESIGN LOADS

FLOOR LIVE LOAD = 40 PSF CONCENTRATED LOAD = N/A LBS. = 10 PSF FLOOR AND DECK DEAD LOAD (BASED UPON 21/2 SQ. FT. AREA) TOTAL FLOOR LOAD = 50 PSF

FLOOR PLYWOOD

PROVIDE 3/1 T & G APA RATED (48/24) UNDERLAYMENT GRADE PLYWOOD (OR 05B "ORIENTED STRAND BOARD"). APPLY FACE GRAIN PERPENDICULAR TO FRAMING MEMBERS. STAGGER PANELS & NAIL W/ 10D SCREW SHANK NAILS AT 6" O.C. AT ALL EDGES & BOUNDARIES (BLOCKING AT INTERIOR SHEAR WALLS, DRAG MEMBERS, ETC.), AND 10' O.C. IN THE FIELD, U.N.O. FLOOR JOISTS

USE TRUSJOIST MACMILLAN I-JOISTS (TJI) OR APPROVED EQUAL AS SPECIFIED ON THE PLANS. I-JOISTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. PROVIDE BLK'G AS RECOMMENDED BY TEH JOIST MANUFACTURER, TYP. UNO.

	\mathbf{F}	OOTING	G/PIER SC	HE	DULE				
PIER SCH	HEDULE_					OOTING SO	CHEDULE		
SYMBOL	WIDTH (each side)	DEPTH	STEEL (each way)		SYMBOL -	<u>WIDTH</u>	DEPTH (N/A) TO MONOPOUR	STEEL (CONTINUOUS)	
(12)	12"	10"	(2) *4's		12	12"	10'	(2) *4's	
$\langle \overline{14} \rangle$ or $\langle \overline{16} \rangle \langle$) 14'	10"	(2) *4's		16	16"	10'	(2) *4's	
$\langle \overline{16} \rangle$ or $\langle \overline{18} \rangle \langle$) 16'	10"	(2) #4's		18	18"	10'	(3) *4's	
$\langle \overline{18} \rangle$ or $\langle \overline{21} \rangle \phi$) ।ଃ'	10"	(2) #4's		21	21"	10'	(3) *4's	
$\langle \overline{21} \rangle$ or $\langle \overline{24} \rangle \triangleleft$	21"	10"	(2) #4's		24	24"	10'	(3) *4's	
$\langle \overline{24} \rangle$	24"	10"	(3) #4's		28	28'	10'	(3) *4's	
<3Ø>	3 0 '	12"	(4) #4's		32	32'	10'	(4) #4's	
36	36'	12"	(5) *4's	1.	8" WIDE W/	<u>STEMWA</u> (1) *4 CONT.	<u>ALL</u> @ 10P, TYP.	U.N.O.	
<u>42</u>	42"	12"	(6) *4'5	2.	PROVIDE *	4 VERTICALS	•	HOOK @ FOOTIN	G
48	48"	14"	(٦) * 4's	3.	(ALTERNAT		DLE & BOT	TOM OF STEMWA	ALL IF
\(54 \)	54"	14"	(8) *4's	,		CEEDS 24" A		# +op of too	+1.1.0
60	60'	14"	(9) *4's	4.				/E TOP OF FOO' ROVIDE #5 VER	•
_	PEDES	STAL						S TALLER THAN	
	E 12" SQ. PEI		12" & SONOTUBE	5.			ED 24" MINIT	MUM BELOW GRA	4DE

WITH (4) *4 YERTICALS, HOOK @ FOOTING. OR PER APPLICABLE LOCAL CODES 6. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, 2. PROVIDE *3 TIES @ 8" O.C. IF PEDESTAL ASSUMED SOIL BEARING PRESSURE PER IBC TABLE HEIGHT EXCEEDS 24" O.C. 1806.2 (CLASS 4)= 1500 PSF OR AS PER SOILS REPORT CHEAD WALL O A D CCHEDILLE

<u> </u>	SHEAR WALI	IF f	PROVIDED.			
SYMBO	SHEAR PLY	EDGE NAIL			3x FRAM'G	
	- THICKNESS	SPACING	NAILING	REQ'D.	REQ'D.	U.N.O. o/ FND. PLAN
						5/8" w/ 2x sill = 1184* 5/8" w/ 3x sill = 1516*
6	3/8"	8d @ 6'	6' o.c.	NO	NO	5/8" DIA. @ 48" c.o.
4	3/8"	8d @ 4"	4' o.c.	NO	NO	5/8" DIA. @ 36" c.o.
3	3/8"	8d @ 3"	3" o.c. \$TAGG	YES	YE5	5/8" DIA. @ 24" c.o.
2	3/8"	8d @ 2"	2" o.c. STAGG	YES	YES	5/8" DIA. @ 16" c.o.
4/2*	3/8 ' B/6	8d @ 4" B/S	PER PLANS	NO	NO	5/8" DIA. @ 16" c.o.
3/2 *	3/8" B/6	8d @ 3" B/6	PER PLANS	YES	YES	5/8" DIA. @ 16" c.o.
2/2*	3/8' B/6	8d @ 2" B/S	PER PLANS	YES	YES	5/8" DIA. @ 12" c.o.
A	1/2"	100d @ 2"	PER PLANS	YES	YES	5/8" DIA. @ 16" c.o.
	5/8'	10d a 2"	PER PLANS	YES	YES	5/8' DIA. @ 12' c.o.

/c\	5/8'	1Ød @ 2"	PER PLANS	YES	YES	5/8" DIA. @ 12" c.o.
LOUISIANA PACIFIC SMART PANEL SIDING						
16	7/16"	8d @ 6'	6' o.c.	NO	NO	5/8" DIA. # 48" c.o.
L4	7/16"	8d @ 4'	4' o.c.	NO	NO	5/8" DIA. # 48" c.o.
L3	7/16"	8d @ 3'	3' <i>o.c.</i> 5TAGG	NO	NO	5/8" DIA. @ 36" c.o.
$\overline{\bigwedge_{12}}$	7/16"	8d @ 2"	2" o.c. STAGG	YES	YES	5/8" DIA. ⊜ 24" c.o.

USE 3/8" APA RATED C-D, C-C EXTERIOR GRADE SHEAR PLY / OSB OR RATED EQUIVALENT UN.O. 2. TI-II SIDING MAY BE REPLACED W/ 5/8" VERTICAL GROOVE LP SMART PANEL SIDING. 3. USE COMMON NAILS U.N.O. SEE NAIL SCHEDULE FOR NAIL LENGTH & THICKNESS REQUIREMENTS, USE STEEL OR HOT-DIP GALVANIZED NAILS AND ANCHOR BOLTS WITH PRESSURE TREATED WOOD., TYP. UN.O.

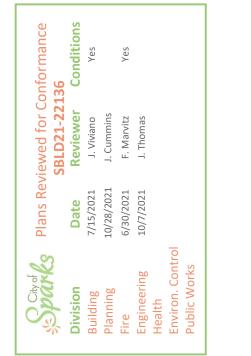
4. USE 12"O.C. FIELD NAILING @ ALL SHEAR PANELS & 6" O.C. FIELD NAILING AT LP SIDING, UN.O. 5. NAIL ALL SHEAR PLYWOOD WITH EDGE NAIL SPACING @ TOP PLATES, MUD SILL, ALL POSTS, ALL KING STUDS, SOLE PLATES, & ALL STUDS W/ HOLDOWNS. DOUBLE SHEAR WALLS TO HAVE SHEAR PLY WITH SPECIFIED NAILING BOTH SIDES. OFFSET PLYWOOD EDGES.

PROVIDE 3X MEMBERS AT EDGE NAILING FROM TWO ABUTTING SHEAR PLYWOOD PANELS (TOP PLATE, SOLE PLATE, SILL PLATE, STUDS, POSTS, BLOCKING, ETC.) ALL EDGE NAILING AT THESE MEMBERS SHALL BE STAGGERED. 8. USE SIMPSON MSTC52 TO STRAP TOP PLATE'S ACROSS ALL BEAMS AND BREAKS IN TOP PLATES, U.N.O. 9. PROVIDE BLOCKING @ ALL HORIZONTAL EDGES OF SHEAR PLYWOOD OR GYP. BD. 10. NAILING OF GYP. BD. W/6D @ 4" O.C. APPLIES TO EDGE & FIELD NAILING.

 PROVIDE MINIMUM 1" EMBEDMENT INTO CONCRETE FOR ALL SILL PLATE ANCHOR BOLTS, UN.O. (12" LONG A.B.'S @ 3X SILL #2.) 12. ALL FOUNDATION SILL PLATES, NAILERS, AND LEDGERS IN DIRECT CONTACT WITH CONCRETE AND WITHIN 6" OF GROUND SHALL BE PRESSURE TREATED. ALL PRESSURE TREATED WOOD SHALL BE DOT SODIUM BORATE (SBX) OR

CHROMATED COPPER ASENATE(CCA-C), OTHER TREATMENTS NOT RECOMMENDED. 13. USE 3' X 3" X 1/4" PLATE WASHERS AT ALL ANCHOR BOLTS, TYPICAL UN.O. 14. MULTIPLE STUDS WITH HOLDOWNS SHALL BE NAILED TOGETHER WITH 2-ROWS OF 100d @ 4" O.C. STAGGERED. TYP. UNO. 15. INSTALL LP SIDING OVER A LAYER OF WATER-RESISTIVE BARRIER 16. ALL LP SMARTSIDE PANEL SIDING JOINS MUST OCCUR AT FRAMING MEMBERS AND MUST BE PROTECTED WITH

CONTINUOUS WOOD BATT, APPROVED CAULKING, FLASHING OR VERTICAL OR HORIZONTAL SHIPLAP OR OTHERWISE MADE WATERPROOF. 17. SHEATHING FASTENERS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH SHEATHING.



5-14-2021 SCALE FOR JURISDICTION

APPROVAL

WASEEM AKHTAR

REVISIONS DATE

5-14-21

DRAWN BY-

JOB # 20-1449 DATE

