

No.	Description	Date
1	PLAN CHECK	07/08/2021
3	PLAN CHECK	10/18/2021

VIEW FROM STREET



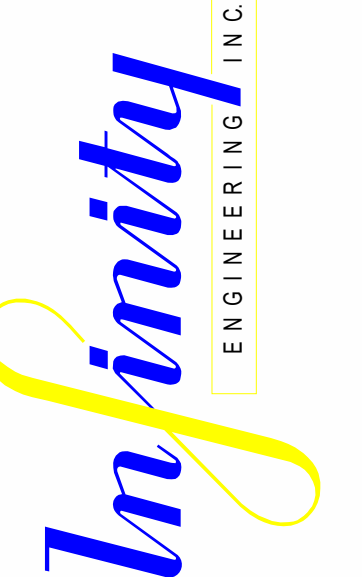
PROPOSED RESIDENCE AT 5708 VISTA TERRACE LANE

A 2019 NFPA 13-D sprinkler system is required for this residence.

Division	Date	Reviewer	Conditions
Building	7/15/2021	J. Viviano	Yes
Planning	10/28/2021	J. Gummis	
Fire	6/30/2021	F. Marvitz	Yes
Engineering	10/7/2021	J. Thomas	
Health			
Environ. Control			
Public Works			

Any fences or retaining walls will require a separate permit

2135 GREEN VISTA DRIVE, SUITE #107
SPARKS, NV 89431
775-333-5211 (PHONE)
E-MAIL: INFINITYENR@GMAIL.COM



10/18/2021
SIGNED ELECTRONICALLY

BUILDING CODES:

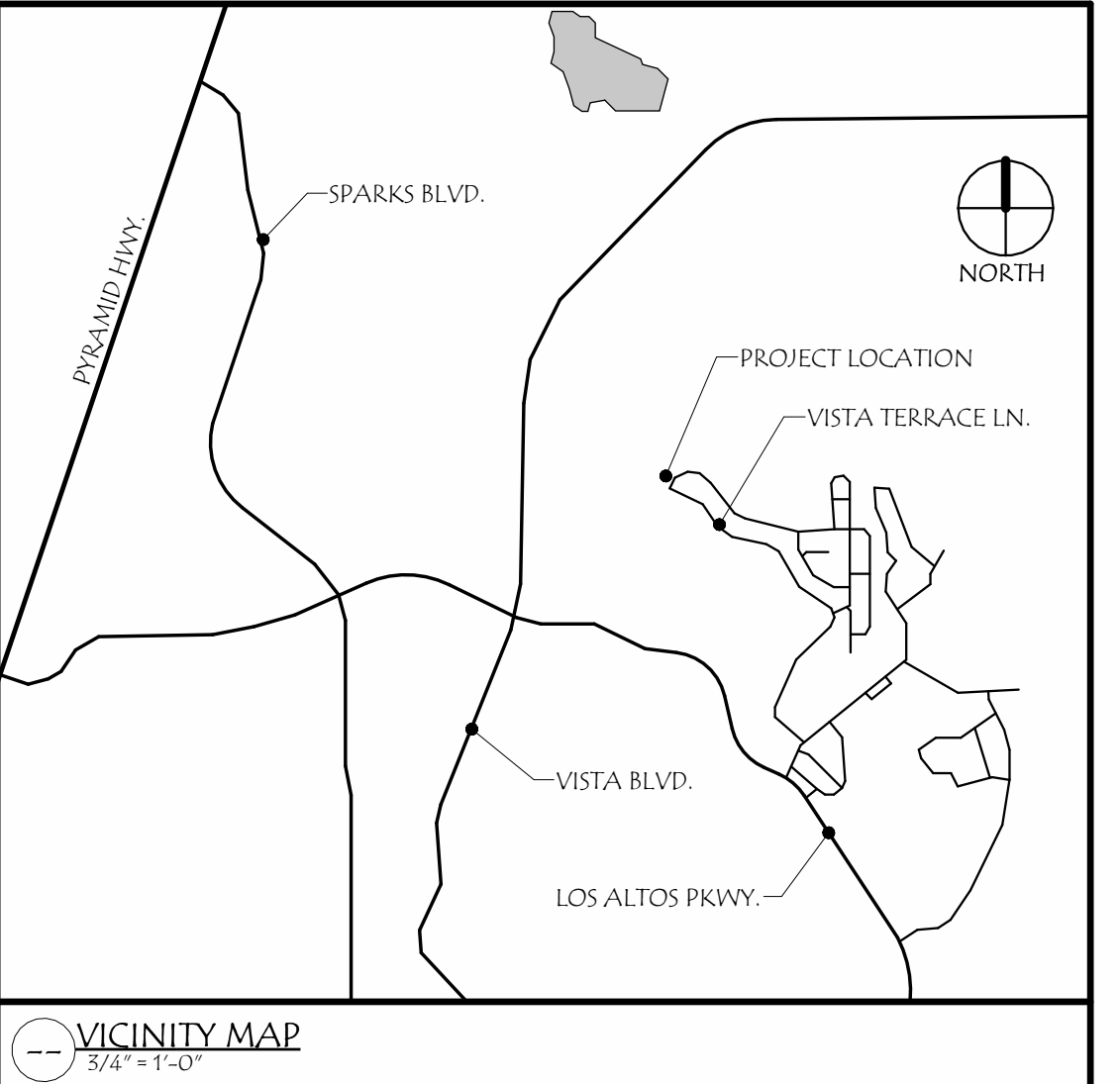
- 2018 INTERNATIONAL BUILDING CODE (STRUCTURAL ONLY)
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 NORTHERN NEVADA AMENDMENTS
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CODES, STANDARDS, ORDINANCES AND LAWS ADOPTED BY THE CITY OF SPARKS, NEVADA.

DEFERRED SUBMITTALS:
IRON STAIRS AT
EXTERIOR TO DECK

BY ACCEPTING THESE DOCUMENTS AND ENTERING INTO A CONTRACT TO BUILD THE PROJECT TO WHICH THEY PERTAIN, THE CONTRACTOR OR BUILDER ACKNOWLEDGES THAT HE HAS REVIEWED THE PLANS FOR ACCURACY AND INCLUSION OF ALL REQUIRED CURRENT, PERTINENT, AND APPLICABLE CODE REQUIREMENTS AND LOCAL ORDINANCES. IN ORDER TO MINIMIZE THE COST OF INCORPORATING ANY ITEMS NOT INCLUDED IN THESE DOCUMENTS, BUT REQUIRED, THE CONTRACTOR CERTIFIES THAT HE WILL NOTIFY THE ARCHITECT OR RESIDENTIAL DESIGNER OF RECORD, OF ANY STRUCTURAL OR NON-STRUCTURAL CLEARANCES, VENTILATION, OR OTHER CODE-REQUIRED ELEMENTS NOT INCLUDED WITHIN THESE CONSTRUCTION DOCUMENTS, PRIOR TO THE CONSTRUCTION OF ANY AREA AFFECTED BY COMPLIANCE WITH THE PERTINENT CODE OR ORDINANCE OR REQUIREMENT. THE CONTRACT FURTHER ACKNOWLEDGES THAT ANY AND ALL REQUIREMENTS PERTAINING TO THIS PROJECT SET FORTH BY SUBDIVISIONS GUIDELINES OR HOMEOWNER ASSOCIATIONS OR APPLICABLE C.C. & R'S SHALL BE INCLUDED IN THE CONTRACTORS BID, WHETHER INCLUDED IN THESE DOCUMENTS OR NOT, AND WILL BE INCORPORATED BY THE CONTRACTOR INTO THE PROJECT FOR WHICH THESE DOCUMENTS APPLY.

ABBREVIATIONS:

• ASTM	AMERICAN STANDARDS OF TESTING MATERIALS
• ETC	ETCETERA
• MAX.	MAXIMUM
• MIN.	MINIMUM
• M.C.	MOISTURE CONTENT
• NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION
• P.S.I.	POUNDS PER SQUARE INCH
• R.C.	RESHIFT CHANNEL
• U.L.	UNDERWRITERS LABORATORY
• U.N.O.	UNLESS NOTED OTHERWISE
• TYP.	TYPICAL
• O.C.	ON CENTER
• A.F.F.	ABOVE FINISHED FLOOR.



PROJECT INFORMATION:

ADDRESS: 5708 VISTA TERRACE LANE, SPARKS, NV. 89436
A.P.N. 518-23-692-01
OCCUPANCY GROUP: R-3 / U
FIRE SUPPRESSION: NO
PLANS ARE BASED ON NAVD 1988 VERTICAL DATUM

WILDLAND URBAN INTERFACE CODE FIRE RATING: MODERATE HAZARD
CONSTRUCTION TO CONFORM TO I13

RESIDENCE:	3,744 SQ. FT.
BASEMENT:	1,803 SQ. FT.
GARAGE:	1,646 SQ. FT.
VIEW DECK:	972 SQ. FT.

COVERED ENTRY:	121 SQ. FT.
COVERED TERRACE:	229 SQ. FT.
TERRACE:	530 SQ. FT.
WALKWAY:	127 SQ. FT.
COVERED REAR PATIO:	251 SQ. FT.
DINING PATIO:	242 SQ. FT.

PLANS & ENGINEER:

INFINITY ENGINEERING, INC.
2135 GREEN VISTA DRIVE, SUITE #107
SPARKS, NV. 89431
(775) 333-5211

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COVER SHEET

5708 VISTA TERRACE
SPARKS, NV.

FOR JURISDICTION

APPROVAL

Project Number	18-1224
Date	JUNE 2021
Drawn By	CF
Checked By	WA

A0.0

Scale: As indicated

No.	Description	Date
1	PLAN CHECK	07/08/2021
2	PLAN CHECK	08/01/2021
3	PLAN CHECK	10/18/2021

2335 GREEN VISTA DRIVE, SUITE# 107
SPARKS, NV 89431
775-533-5211 (PHONE)
775-533-5211 (FAX)
E-MAIL: INFINITYRENO@GMAIL.COM



10/18/2021
SIGNED ELECTRONICALLY

SITE PLAN
 5708 VISTA TERRACE
 SPARKS, NV.

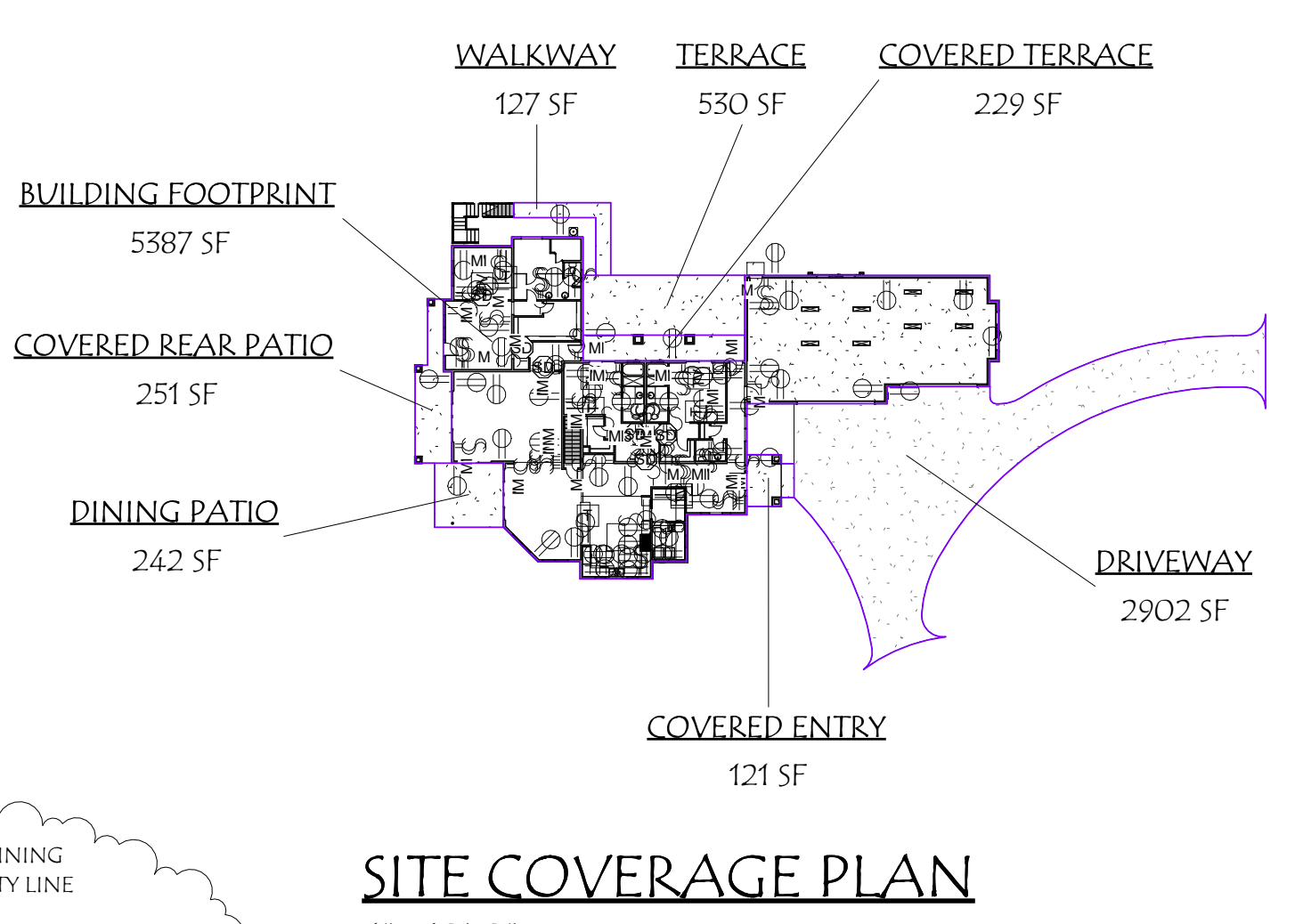
FOR JURISDICTION APPROVAL

Project Number 18-1224
Date JUNE 2021
Drawn By CF
Checked By WA

Scale As indicated

SITE INFORMATION	
A.P.N.	518-692-01
STREET ADDRESS	5708 VISTA TERRACE LANE
CITY	SPARKS
SUBDIVISION	VISTA RIDGE SUBDIVISION, UNIT 6
LOT	1
BLOCK	
LAND AREA	24,219 SQ. FT. (0.556 ACRES)

SITE LEGEND	
	TREE TO BE REMOVED
	62.45' PROPOSED CONTOUR
	62.45' EXISTING CONTOUR
	SETBACK / EASEMENT
	ROOF SLOPE
	PAVERS
	JOINT TRENCH
	UTILITIES (ELECTRIC, GAS, WATER & SEWER)
	ROCK RETAINING WALL

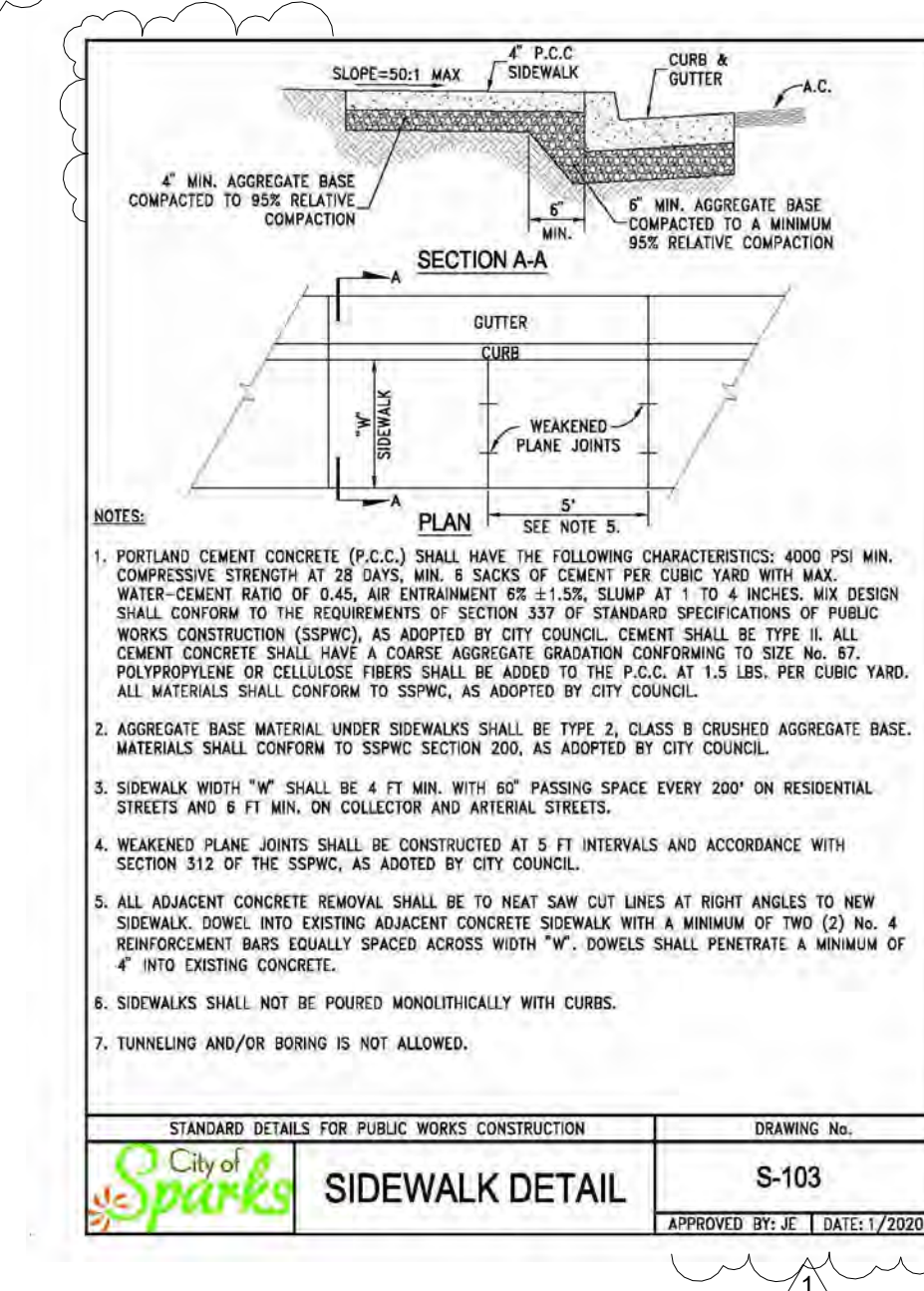


TRUCKEE MEADOWS WATER AUTHORITY SERVICE LATERALS
 SERVICE LATERALS SHALL BE DESIGNED AND SIZED TO PROVIDE PEAK HOUR CAPACITY WITHOUT EXCESSIVE PRESSURE LOSSES TAKING INTO ACCOUNT ANTICIPATED LOSSES THROUGH THE METER, SETTER AND BACKFLOW PREVENTION DEVICE. SERVICE LATERAL SIZES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE AUTHORITY. SERVICE LATERAL MATERIALS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH AUTHORITY STANDARDS.

- LOCATION:
- ALL SERVICE LATERALS SHALL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY OR PUBLIC UTILITY EASEMENT UNLESS OTHER PROVISIONS HAVE BEEN APPROVED BY THE AUTHORITY.
 - THE FULL SERVICE LATERAL LENGTH BETWEEN A WATER MAIN AND WATER METER SHALL BE INSTALLED AT NINETY (90) DEGREES TO THE WATER MAIN HORIZONTAL ALIGNMENT UNLESS OTHERWISE APPROVED BY THE AUTHORITY. IF THE WATER MAIN CONFIGURATION DOES NOT ALLOW FOR A NINETY (90) DEGREE SERVICE LATERAL INSTALLATION, TRACER WIRE MUST BE INSTALLED ABOVE THE SERVICE LATERAL PER SECTION 11.06.05.
 - FOR SERVICE LATERALS TWO (2) INCHES IN DIAMETER AND SMALLER, SERVICE SADDLES SHALL NOT BE CLOSER THAN TWENTY-FOUR (24) INCHES FROM THE END OF THE MAIN OR ANY JOINT. FOR PVC AND AC MAINS, SERVICE SADDLES SHALL BE NO CLOSER THAN EIGHTEEN (18) INCHES TO AN ADJACENT SERVICE SADDLE WHEN THE SERVICE TAPS ARE ON OPPOSITE SIDES OF THE MAIN. FOR DUCTILE IRON, CAST IRON, AND STEEL MAINS, SERVICE SADDLES SHALL BE NO CLOSER THAN NINE (9) INCHES TO AN ADJACENT SERVICE SADDLE WHEN THE SERVICE TAPS ARE ON OPPOSITE SIDES OF THE MAIN. FOR PVC AND AC MAINS, SERVICE SADDLES SHALL BE NO CLOSER THAN THIRTY-SIX (36) INCHES TO AN ADJACENT SERVICE SADDLE WHEN THE SERVICE TAPS ARE LOCATED ON THE SAME SIDE OF THE MAIN. FOR DUCTILE IRON, CAST IRON, AND STEEL MAINS, SERVICE SADDLES SHALL BE NO CLOSER THAN EIGHTEEN (18) INCHES TO ADJACENT SERVICE SADDLES WHEN THE SERVICE TAPS ARE LOCATED ON THE SAME SIDE OF THE MAIN.
 - THE SEWER AND WATER LATERALS LEADING INTO THE PROPERTY SHALL BE SEPARATED HORIZONTALLY BY A MINIMUM OF FOUR (4) FEET. THE SEWER LATERAL MUST BE A MINIMUM OF ONE (1) FOOT LOWER THAN THE WATER LATERAL. AND THE LATERALS SHALL BE LOCATED IN SEPARATE TRENCHES PER NAC 445A REQUIREMENTS (ALSO SEE SECTION 11.20).
 - ALL SERVICE LATERALS SHALL BE LOCATED A MINIMUM OF TEN (10) FEET FROM SEPTIC TANKS, AND A MINIMUM OF TWENTY-FIVE (25) FEET FROM LEACH BEDS AND/OR SEPTAGE PITS.

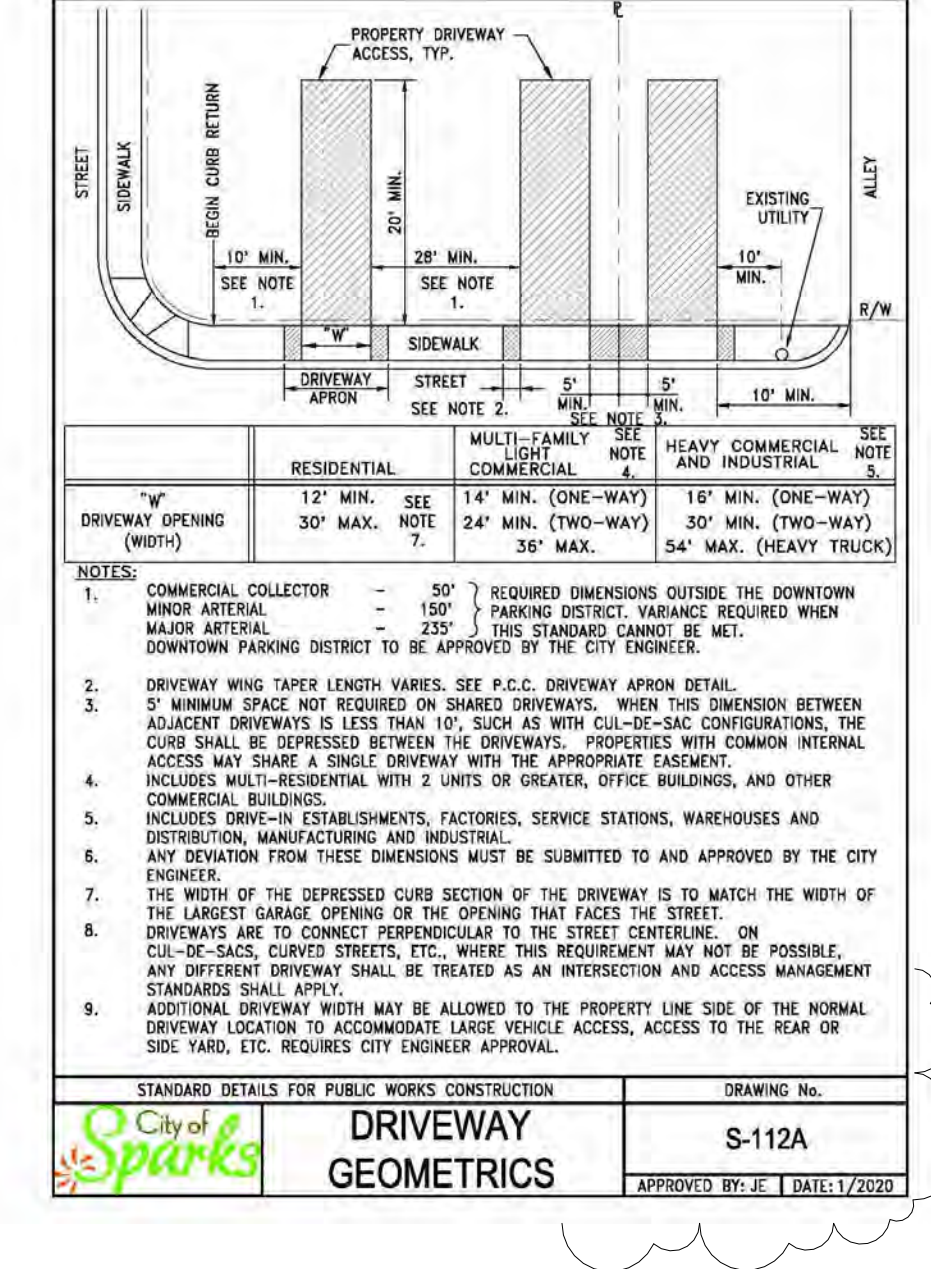
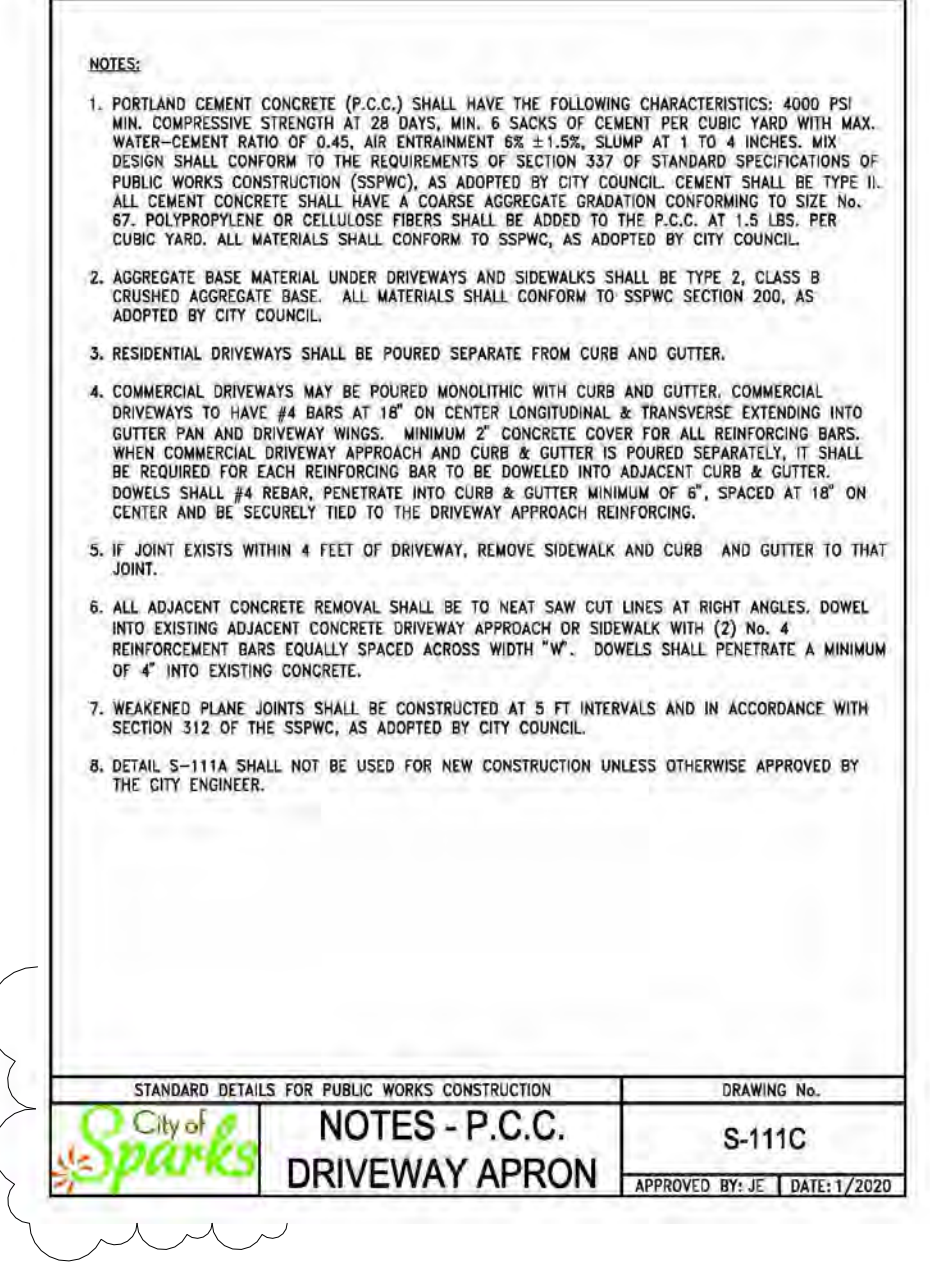
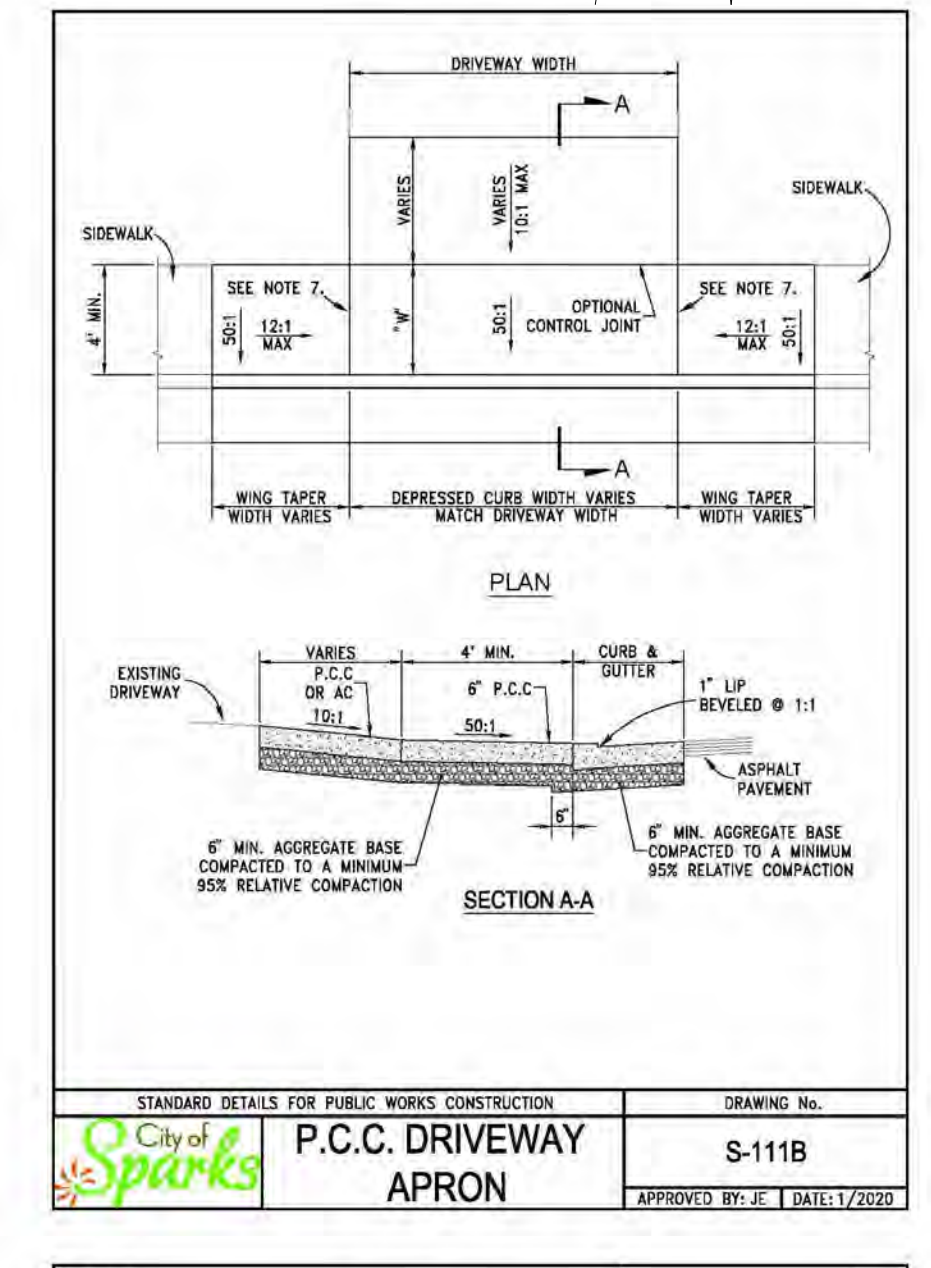
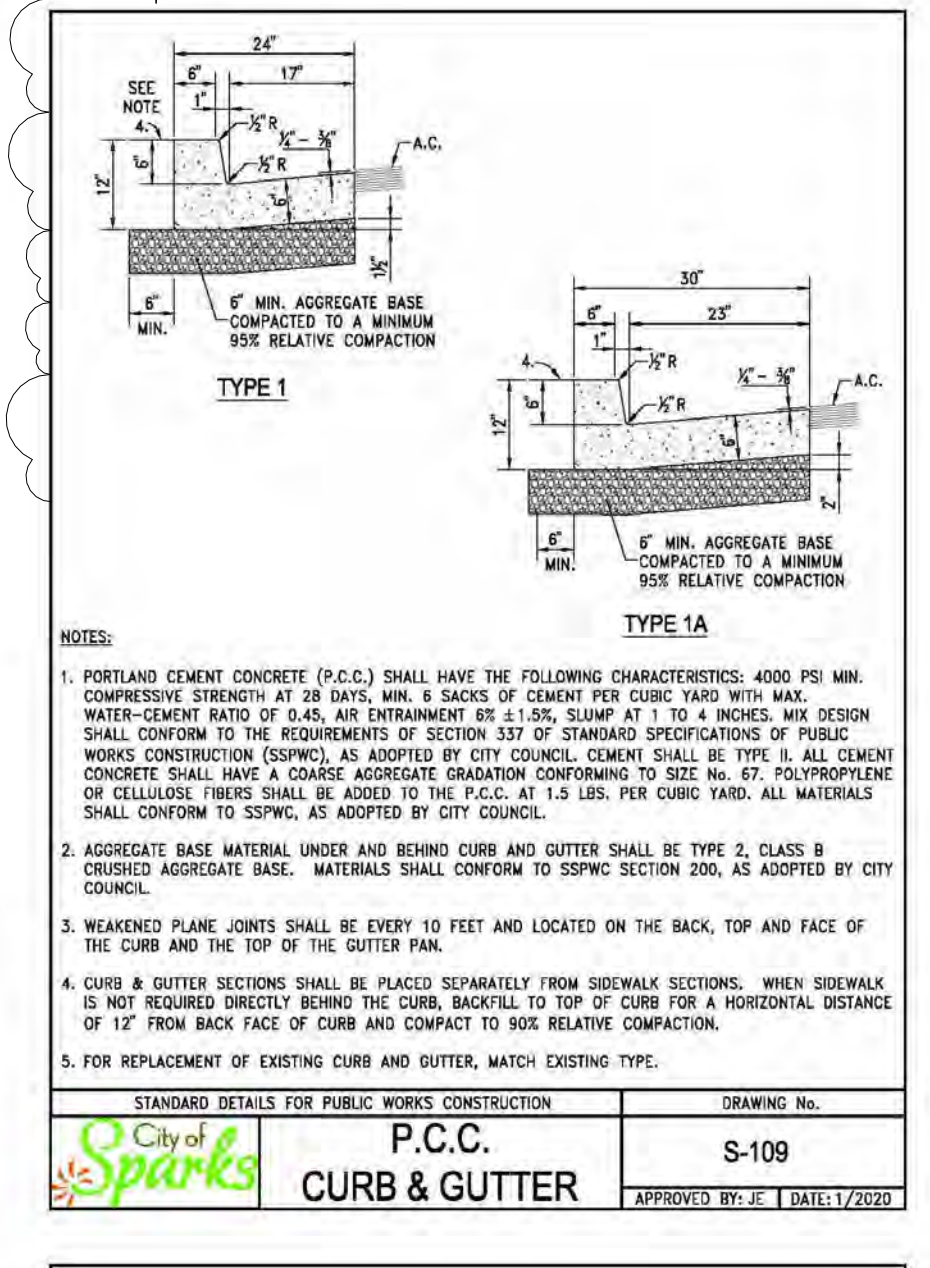
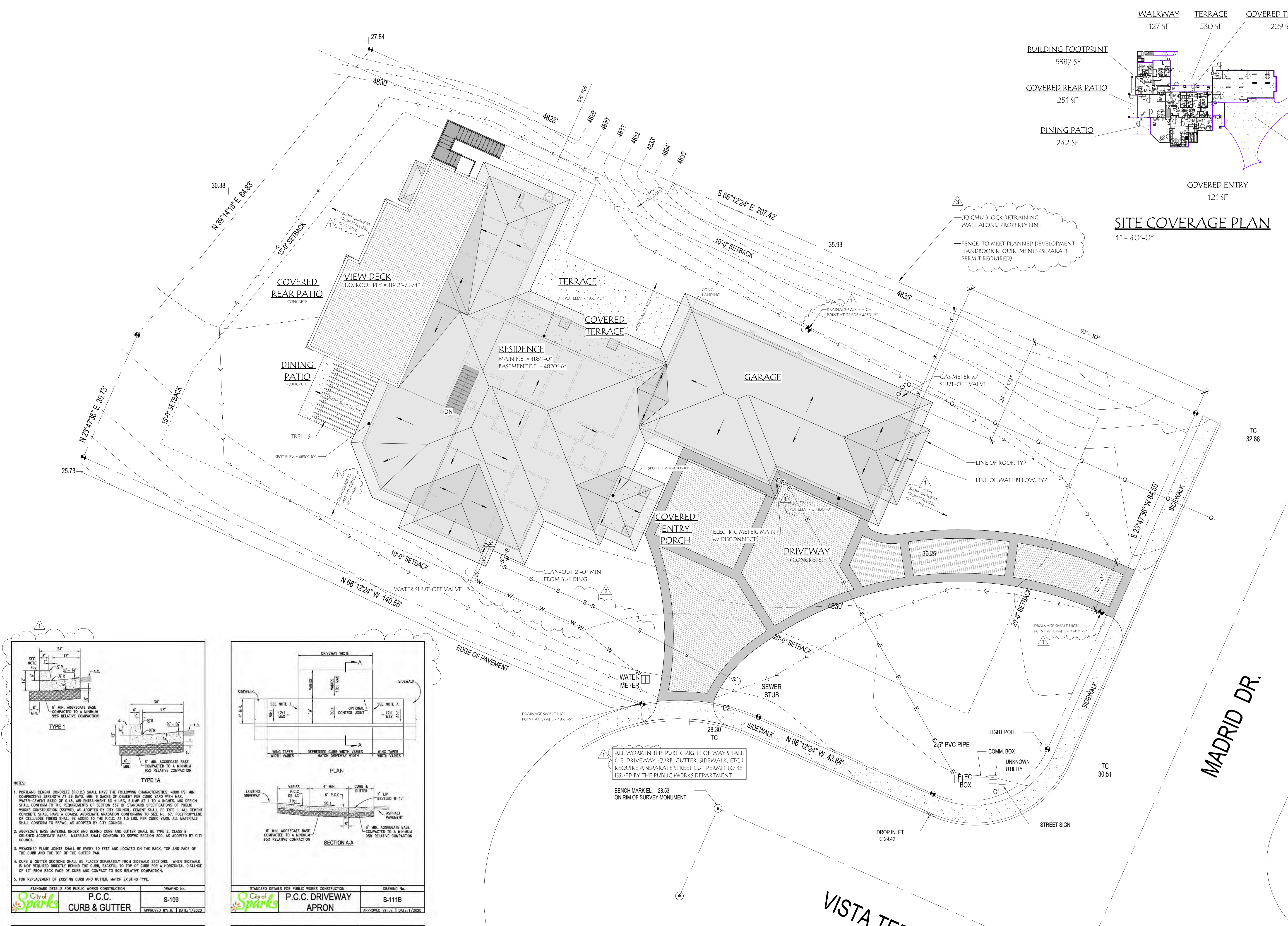
- LATERAL INSTALLATION:
- SERVICE SADDLES SHALL BE FURNISHED IN ACCORDANCE WITH THE AUTHORITY'S APPROVED MATERIALS LIST FOR THE TYPE OF PIPE USED AND INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
 - CORPORATION STOPS SHALL BE MALE IRON PIPE THREAD BY COMPRESSION OR FLARED CONNECTION. A CORPORATION STOP SHALL BE INSTALLED WITH THE SERVICE SADDLE AT THE WATER MAIN FOR ALL SERVICE LATERALS TWO (2) INCHES AND SMALLER.
 - MINIMUM LATERAL DIAMETERS FOR METER SIZES UP TO FOUR (4) INCHES SHALL BE AS FOLLOWS:

REQUIRED METER SIZE (IN.)	MINIMUM LATERAL SIZE (IN.)
1/2"	1"
1"	1-1/4"
1-1/2"	1-1/2"
2"	2"
4"	4"

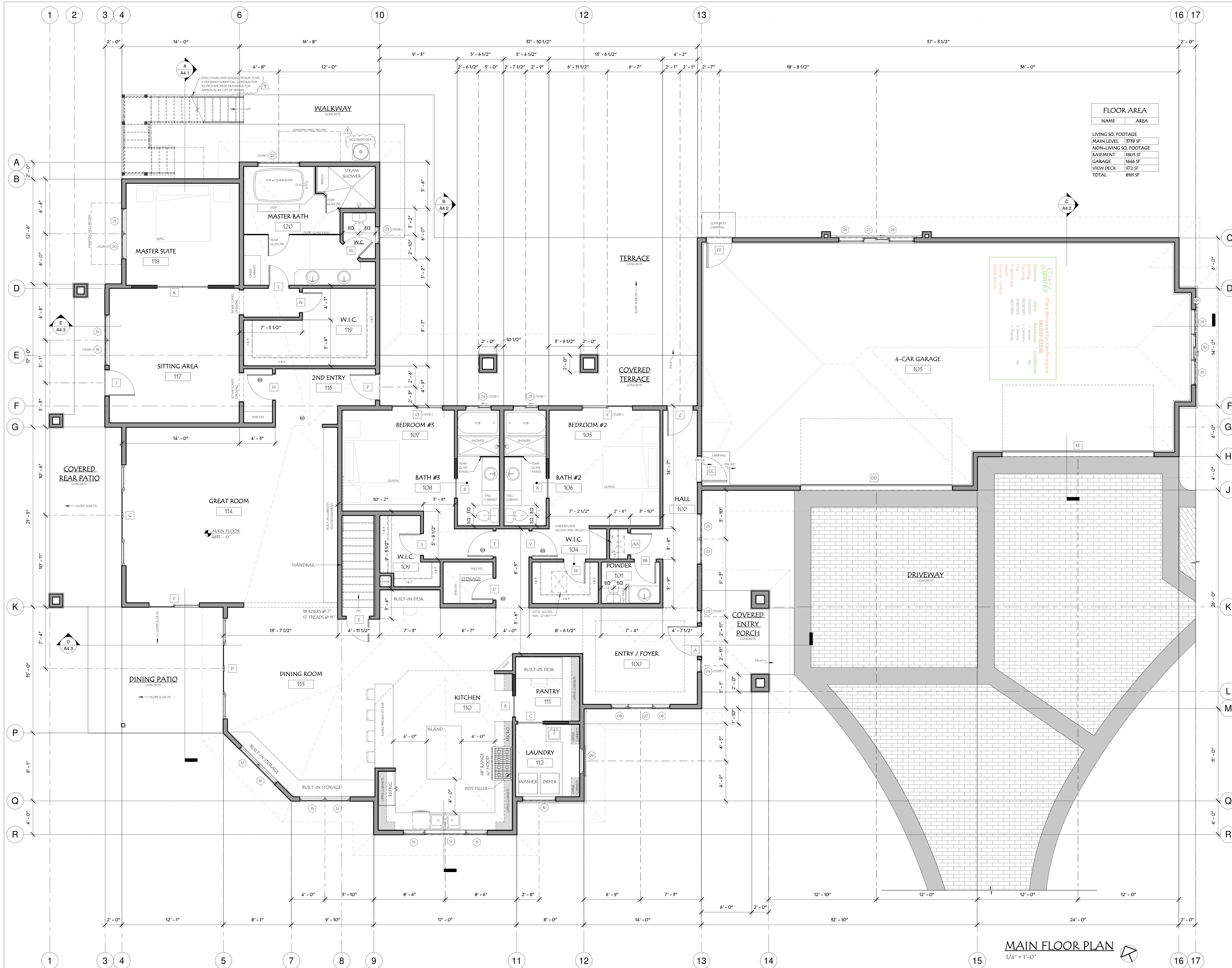


STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	
City of Sparks	DRAWING NO. S-103
APPROVED BY: J.E. DANIEL/2/2020	

SITE PLAN
1" = 10'-0"



Plans Reviewed for Conformance			
Division	Date	Reviewer	Conditions
Building	7/15/2021	J. Vivano	Yes
Planning	10/28/2021	J. Cummins	Yes
Fire	6/30/2021	F. Martin	Yes
Engineering	10/7/2021	J. Thomas	Yes
Health			
Environ Control			
Public Works			



FLOOR AREA	
NAME	AREA
LIVING SQ. FOOTAGE	
MAIN LEVEL	5739 SF
NON-LIVING SQ. FOOTAGE	
BASEMENT	1805 SF
GARAGE	1648 SF
VIEW DECK	972 SF
TOTAL	8161 SF

Sparks
 Plans Reviewed for Compliance
 Building Division
 Date: 5/8/2021
 Reviewer: J. Thomas
 Conditions: Yes

No.	Description	Date
1	PLAN CHECK	07/08/2021

2355 GREEN VISTA DRIVE, SUITE# 107
 SPARKS, NV 89431
 775-533-5211 (PHONE)
 E-MAIL: INFINITYENR@GMAIL.COM



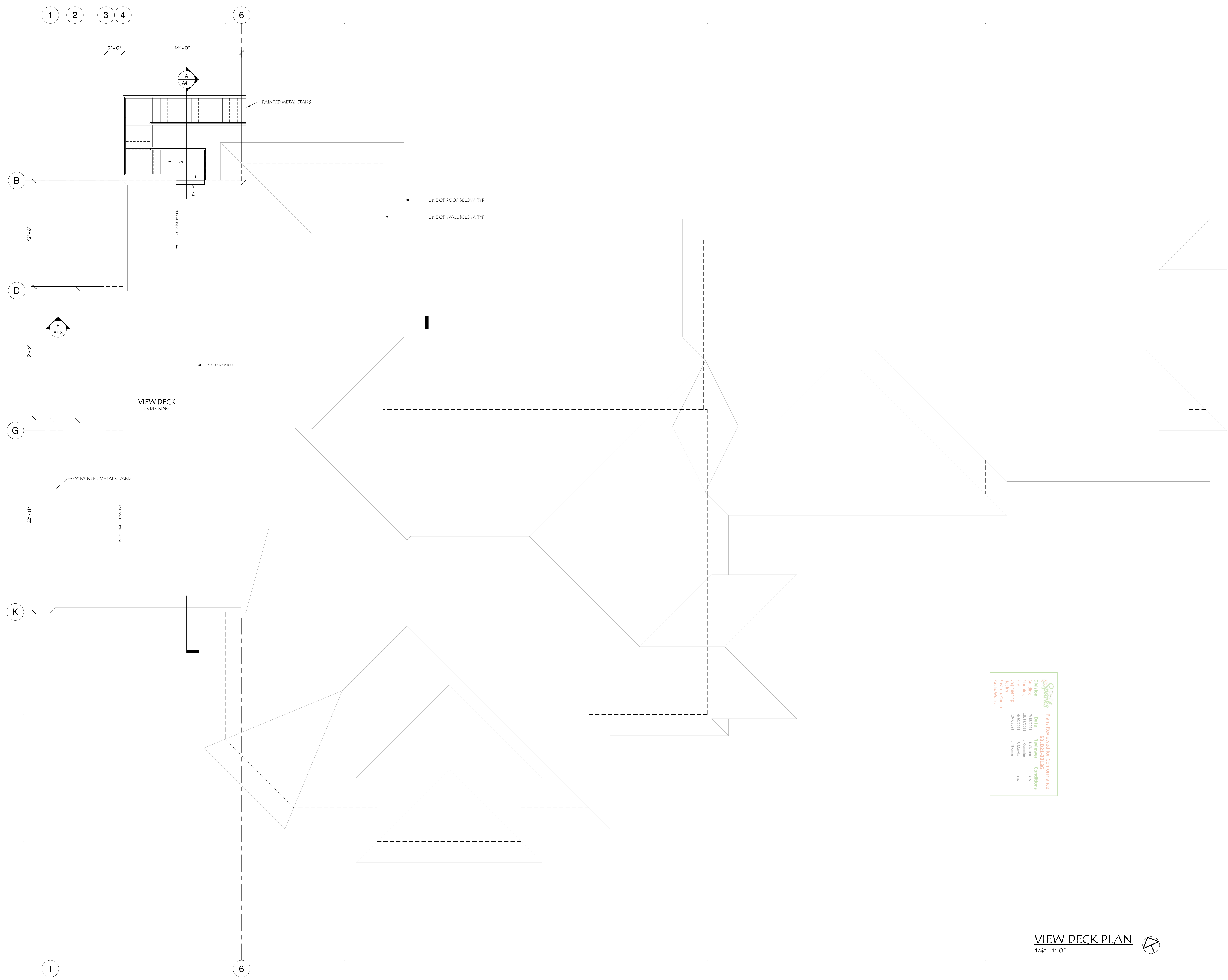
07/12/2021
 SIGNED ELECTRONICALLY

MAIN FLOOR PLAN
5708 VISTA TERRACE
SPARKS, NV.

FOR JURISDICTION	APPROVAL
Project Number	18-1224
Date	JUNE 2021
Drawn By	CF
Checked By	WA
A2.1	
Scale	1/4" = 1'-0"

MAIN FLOOR PLAN
 1/4" = 1'-0"

7/12/2021 4:11:07 PM



Sparks
 Print Reviewed for Conformance
 Date: 06/03/2021
 Reviewer: J. Williams
 Conditions: Yes

No.	Description	Date

235 GREEN VISTA DRIVE, SUITE# 107
 SPARKS, NV 89431
 775-533-5211 (PHONE)
 E-MAIL: INFINITYRENO@gmail.com



06/03/2021
 SIGNED ELECTRONICALLY

VIEW DECK PLAN
5708 VISTA TERRACE
SPARKS, NV.

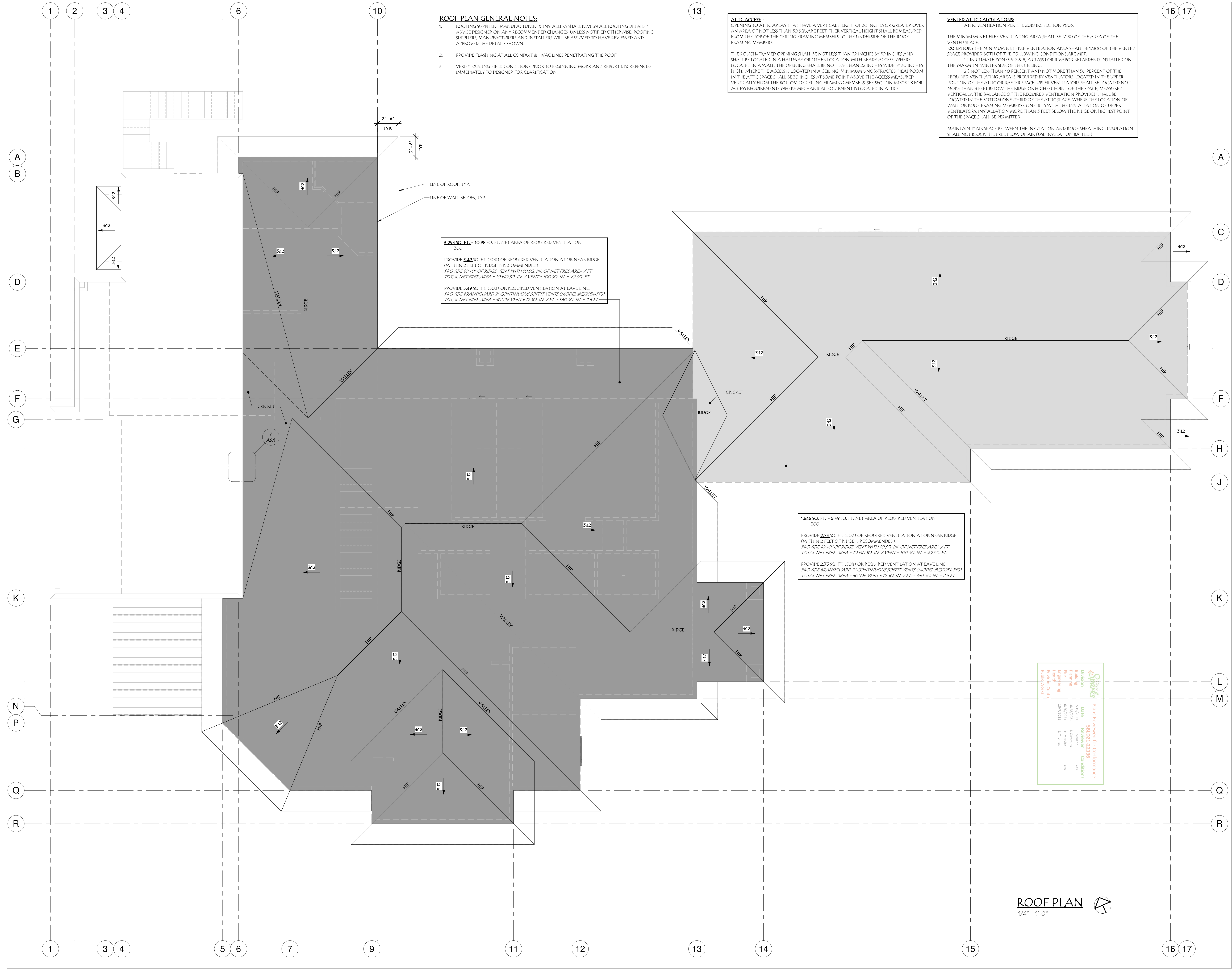
FOR JURISDICTION
 APPROVAL

Project Number: 18-1224
 Date: JUNE 2021
 Drawn By: CF
 Checked By: WA

A2.3

Scale: 1/4" = 1'-0"

VIEW DECK PLAN
 1/4" = 1'-0"



- ROOF PLAN GENERAL NOTES:**
1. ROOFING SUPPLIERS, MANUFACTURERS & INSTALLERS SHALL REVIEW ALL ROOFING DETAILS & ADVISE DESIGNER ON ANY RECOMMENDED CHANGES. UNLESS NOTIFIED OTHERWISE, ROOFING SUPPLIERS, MANUFACTURERS AND INSTALLERS WILL BE ASSUMED TO HAVE REVIEWED AND APPROVED THE DETAILS SHOWN.
 2. PROVIDE FLASHING AT ALL CONDUIT & HVAC LINES PENETRATING THE ROOF.
 3. VERIFY EXISTING FIELD CONDITIONS PRIOR TO BEGINNING WORK AND REPORT DISCREPANCIES IMMEDIATELY TO DESIGNER FOR CLARIFICATION.

ATTIC ACCESS:
 OPENING TO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. THEIR VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS.
 THE ROUGH-FRAMED OPENING SHALL BE NOT LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER LOCATION WITH READY ACCESS. WHERE LOCATED IN A WALL, THE OPENING SHALL BE NOT LESS THAN 22 INCHES WIDE BY 30 INCHES HIGH. WHERE THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 INCHES AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS. SEE SECTION M1805.1.5 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS.

VENTED ATTIC CALCULATIONS:
 ATTIC VENTILATION PER THE 2018 IRC SECTION R806.
 THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.
EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/500 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 1.) IN CLIMATE ZONES 6, 7 & 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
 2.) NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 5 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 5 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
 MAINTAIN 1" AIR SPACE BETWEEN THE INSULATION AND ROOF SHEATHING. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR (USE INSULATION RAFFLES).

No.	Description	Date

205 GREEN VISTA DRIVE, SUITE# 107
 SPARKS, NV 89431
 775.533.5211 (PHONE)
 E-MAIL: INFINITYENR@GMAIL.COM



06/03/2021
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ROOF PLAN
5708 VISTA TERRACE
SPARKS, NV.

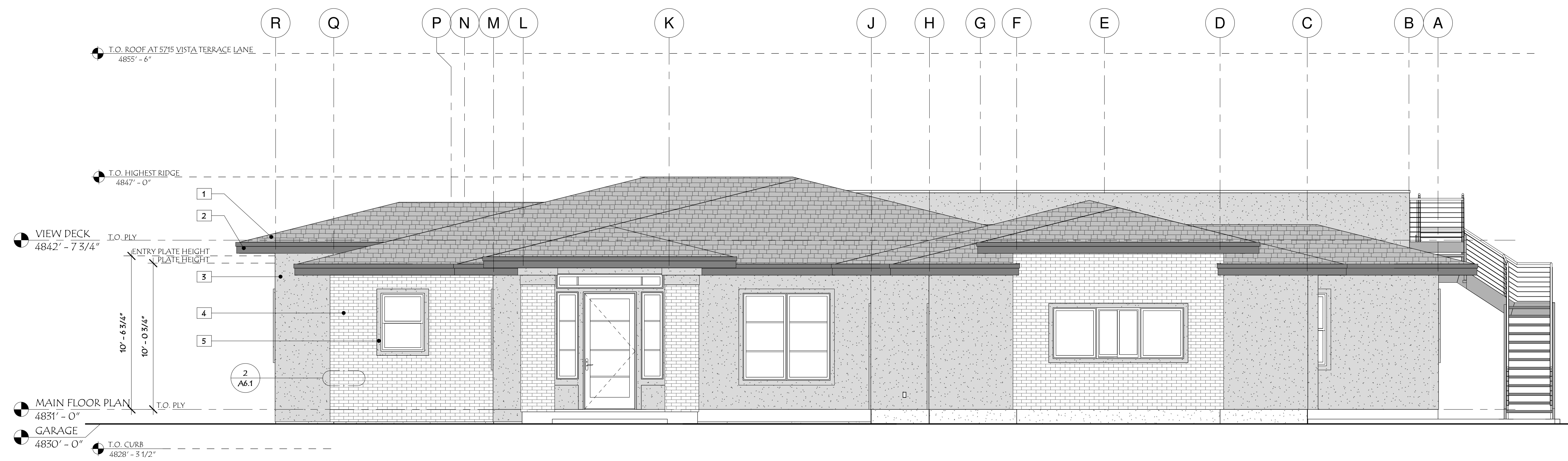
Date	Reviewer	Conditions
7/21/2021	J. Waseem	Yes
6/20/2021	F. Waseem	Yes
5/27/2021	L. Thomas	Yes

Sparks
 Division
 Building
 Framing
 Engineering
 Health Center
 Project No. 18-1224

ROOF PLAN
 1/4" = 1'-0"

FOR JURISDICTION	APPROVAL
Project Number	18-1224
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Drawn By	CF
Checked By	WA
Scale	As indicated

A2.5



① EAST ELEVATION
1/4" = 1'-0"

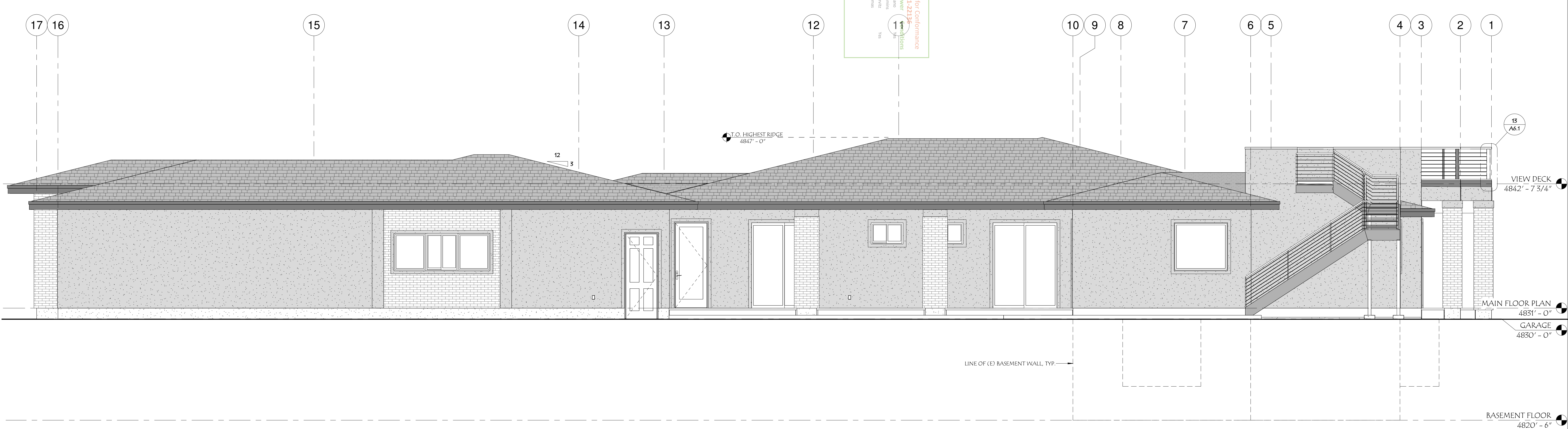
- KEYNOTES:**
- NOTE:** ALL EXTERIOR SIDING AND FINISH MATERIAL SHALL COMPLY WITH APPLICABLE CODES.
- ADDRESS:** NUMBERS WITH CONTRASTING BACKGROUND SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2" PER **IRC R319.1**.
- ROOFING:** REL AIR PROFILE CONC. TILE BY EAGLE ROOFING, INSTALLED PER MFG. SPECS.
COLOR: CHARCOAL
 - FASCIA:** PAINTED 2x8 w/ 1x4 SHINGLE MOLD
COLOR: DARK GREY SILK #HDGCS9P BY GLIDDEN
 - STUCCO SIDING:** 2-COAT SYSTEM w/ COLOR IMPREGNATED w/ A MINIMUM OF TWO LAYERS GRADE 1" PAPER OR EQUIVALENT UNDERLAYMENT. SET WEEP SCREDS 4" MINIMUM ABOVE GRADE AND 2" MINIMUM ABOVE HARD SURFACES.
COLOR: DOVE GRAY
 - BRICK VENEER:** INSTALL PER MFG. SPECS or TWO LAYERS OF GRADE 1" PAPER OR EQUIVALENT UNDERLAYMENT. SET 26 GAUGE WEEP SCREDS 4" MINIMUM ABOVE GRADE, 2" MINIMUM ABOVE HARD SURFACES AND 1/2" ABOVE CONCRETE TIES TO THE FOUNDATION THAT SUPPORTS THE VENEER WALL PER **IRC R705.12.2**.
 - DOOR AND WINDOW TRIM:** 2x4/4x4 STUCCO COVERED STYROFOAM
COLOR: MEDICI GREY #HDGCS7 BY GLIDDEN
 - GARAGE DOOR:** METAL w/ FROSTED GLASS
 - FENCE:** WESTERN RED CEDAR w/ GATE AT NORTH SIDE BETWEEN GARAGE & EXISTING WALL
STAIN: SHALL BE TRANSPARENT OR SEMI-TRANSPARENT
 - DRIVEWAY:** PORTLAND CEMENT CONCRETE w/ ACCENT
 - ACCENT ROCK:** BASALITE GROUND FACE CMU 102

No.	Description	Date

235 GREEN VISTA DRIVE, SUITE# 107
SPARKS, NV 89431
752.533.5211 (PHONE)
E-MAIL: INFINITYREC@GMAIL.COM



06/03/2021
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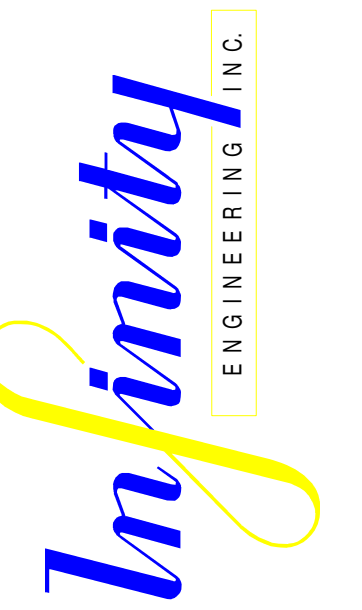
② NORTH ELEVATION
1/4" = 1'-0"

EXTERIOR ELEVATIONS
5708 VISTA TERRACE
SPARKS, NV.

FOR JURISDICTION	APPROVAL
Project Number	18-1224
Date	JUNE 2021
Drawn By	CF
Checked By	WA
A3.1	
Scale	As indicated

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235 GREEN VISTA DRIVE, SUITE# 107
 SPARKS, NV 89101
 775.533.5211 (PHONE)
 E-MAIL: INFINITYENG@GMAIL.COM



06/03/2021

SIGNED ELECTRONICALLY

BUILDING SECTION
5708 VISTA TERRACE
SPARKS, NV.

FOR JURISDICTION

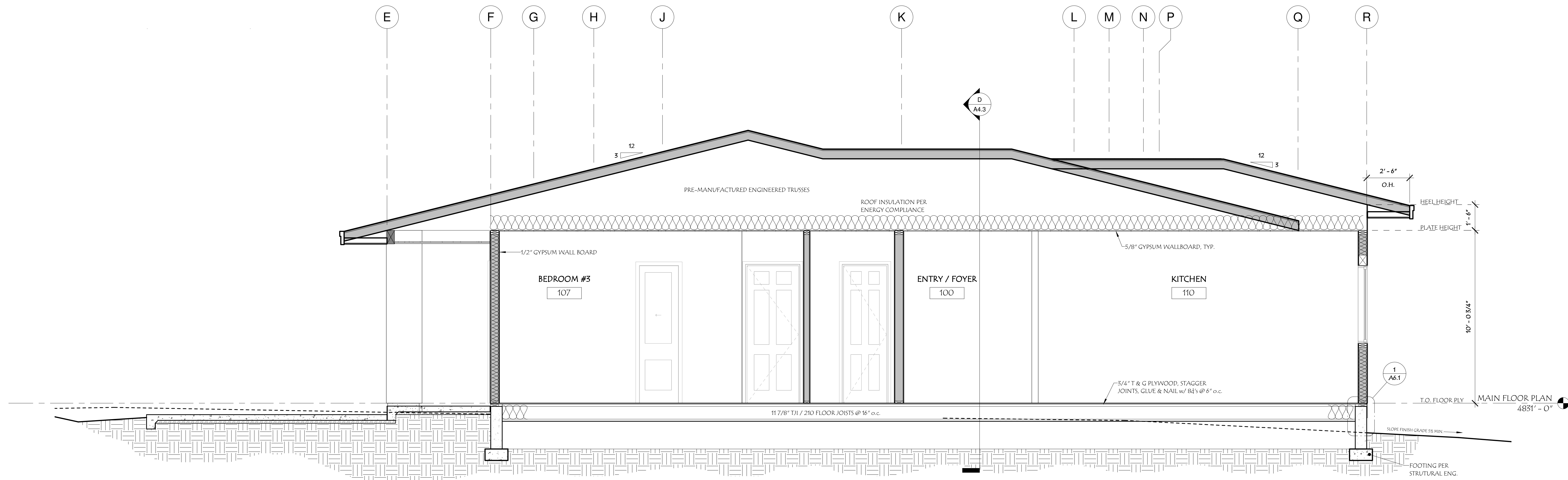
APPROVAL

Project Number 18-1224
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 Drawn By Author
 Checked By Checker

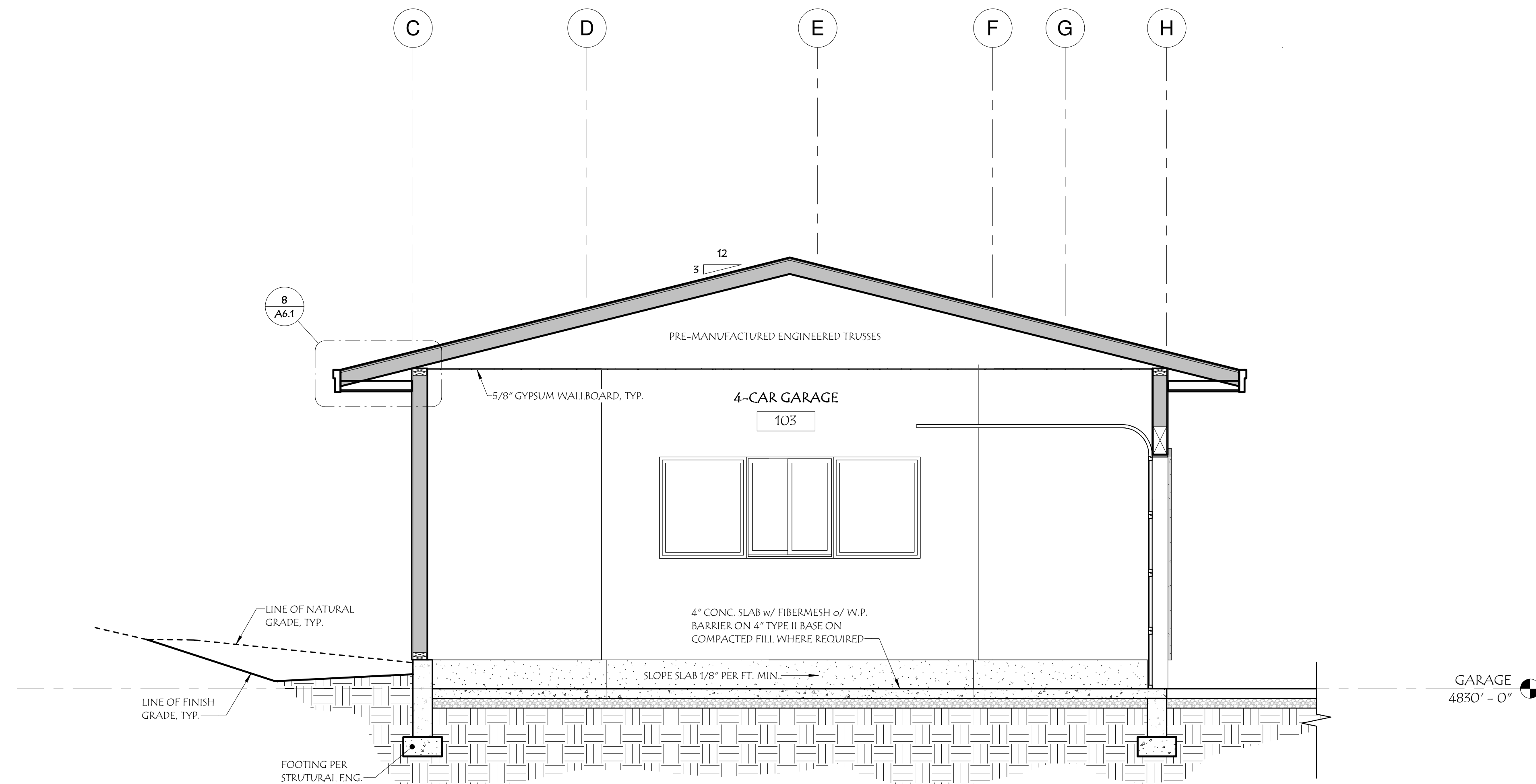
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Scale 3/8" = 1'-0"

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B BUILDING SECTION
 3/8" = 1'-0"



C BUILDING SECTION
 3/8" = 1'-0"

Division	Date	Reviewed For	Conditions
Structural	7/20/2021	S&B/DJ-22136	Yes
Plumbing	10/28/2021	J. Korman	Yes
Fire	6/9/2021	J. Korman	Yes
Engineering	10/27/2021	J. Thomas	Yes
Health			
Environment Control			
Public Works			

No.	Description	Date
1	PLAN CHECK	07/08/2021

2355 GREEN VISTA DRIVE, SUITE# 107
 SPARKS, NV 89431
 775-533-5211 (PHONE)
 E-MAIL: INFINITYRECO@GMAIL.COM



07/12/2021

SIGNED ELECTRONICALLY

BUILDING SECTION
5708 VISTA TERRACE
SPARKS, NV.

FOR JURISDICTION

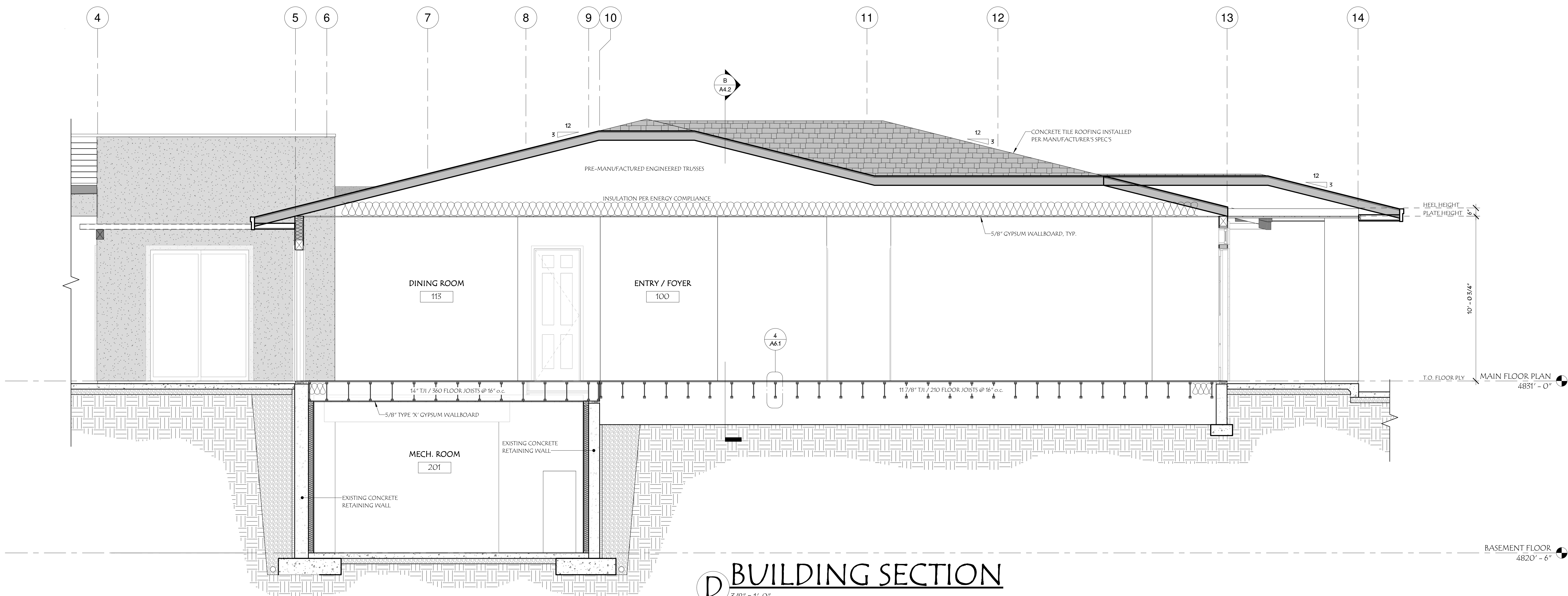
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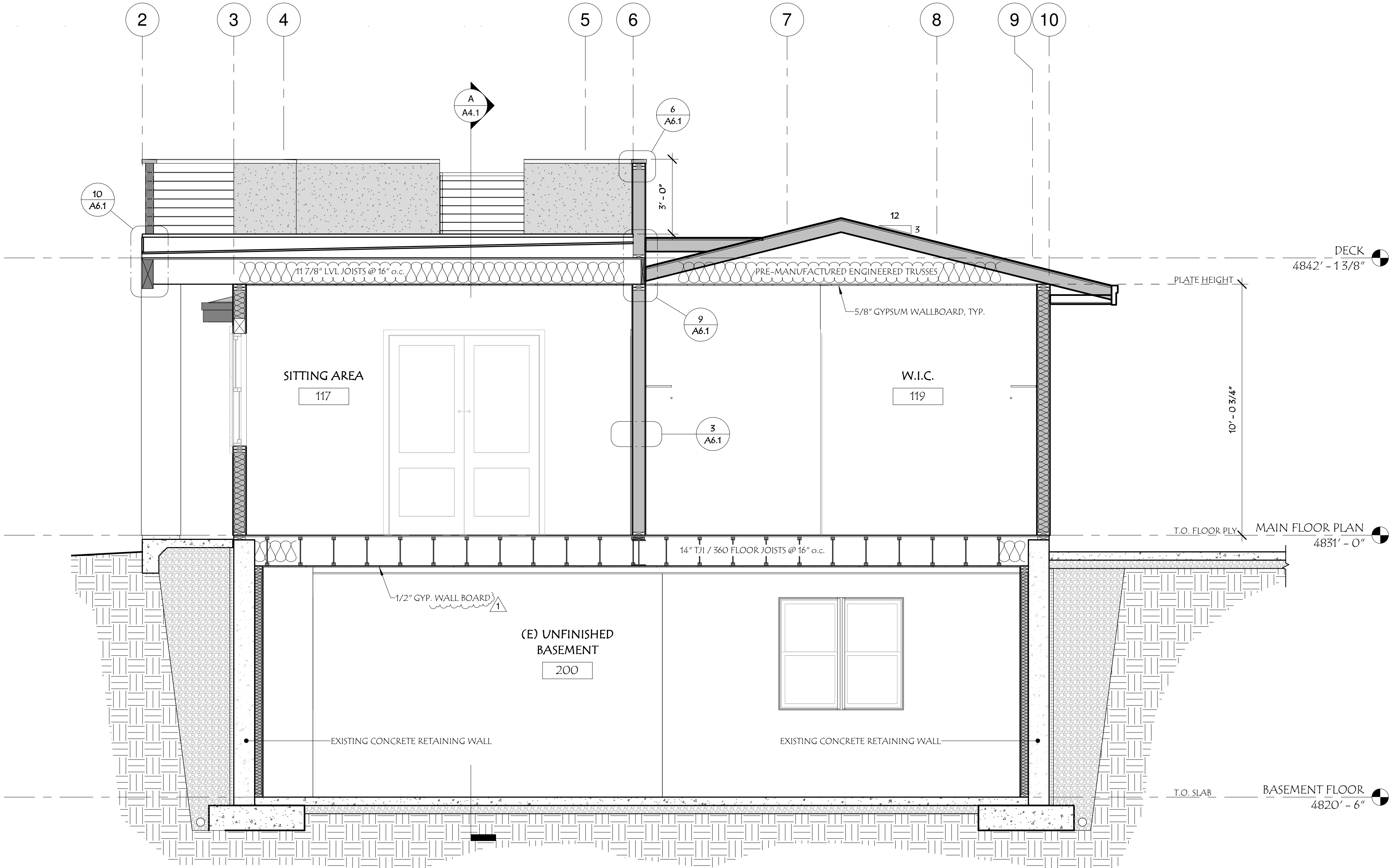
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Scale 3/8" = 1'-0"

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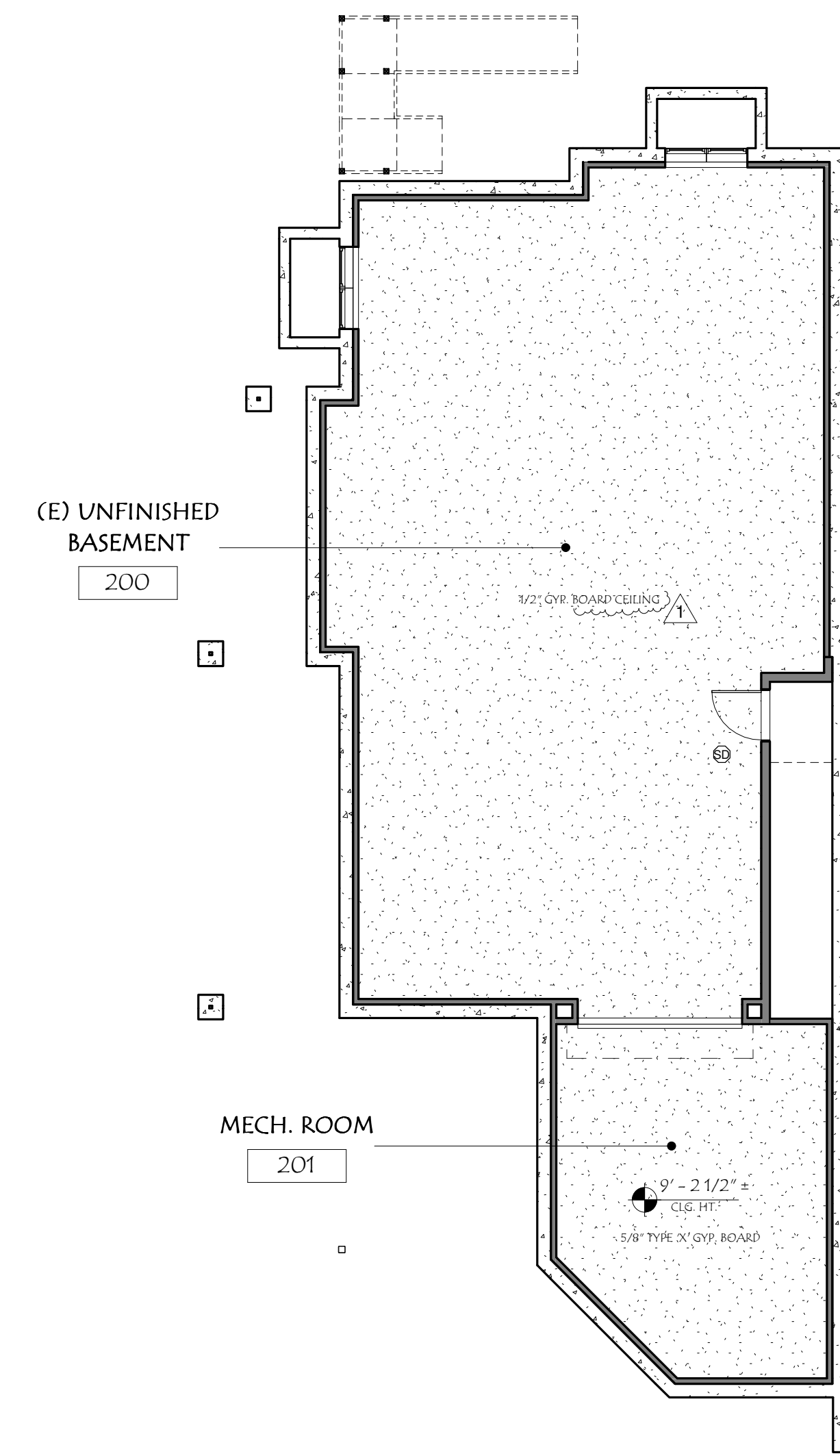


D BUILDING SECTION
 3/8" = 1'-0"

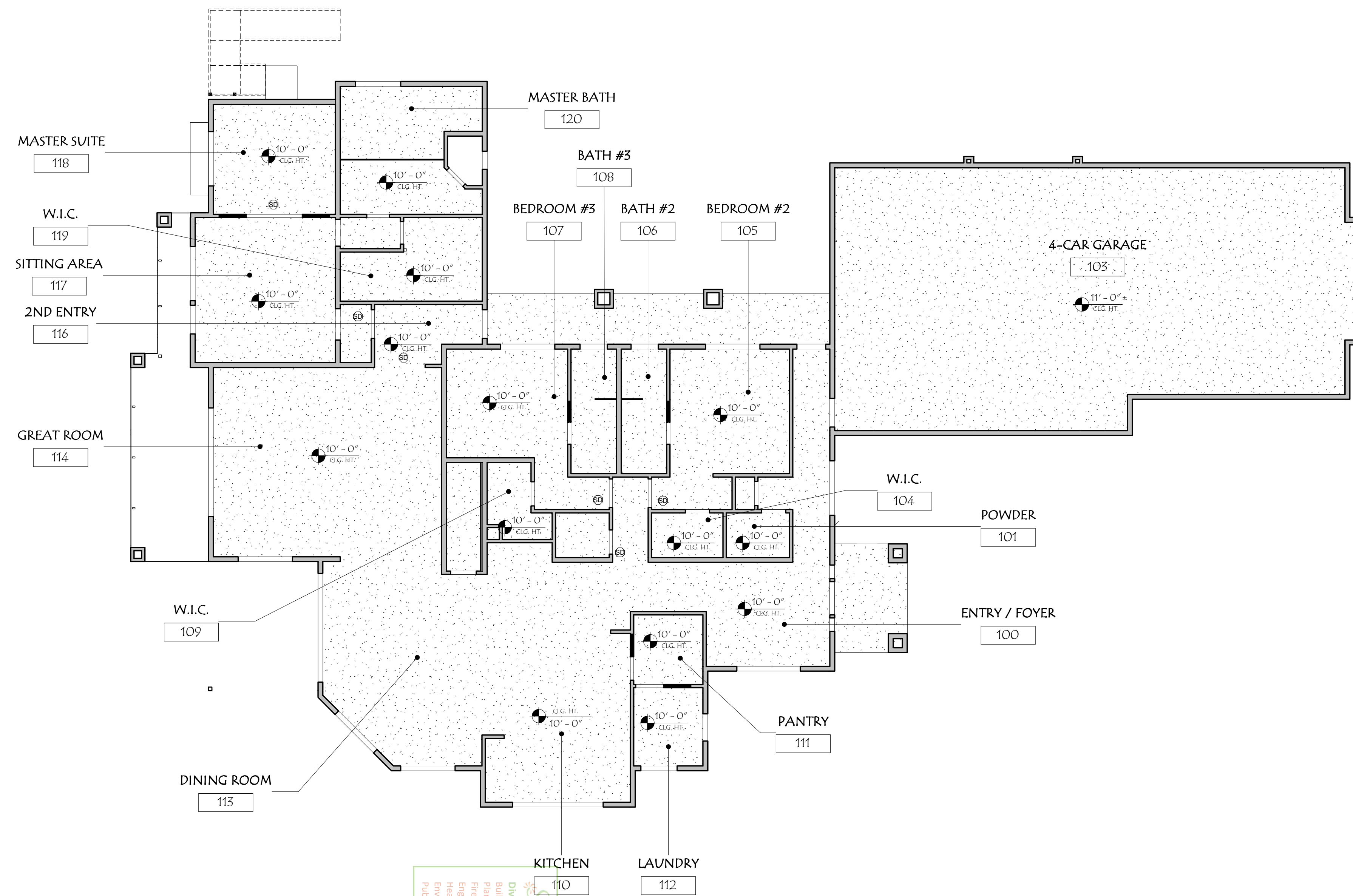
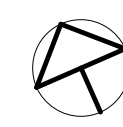


E BUILDING SECTION
 3/8" = 1'-0"

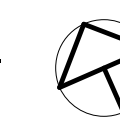
Division	Date	Reviewed for Compliance
Building	07/15/2021	Waseem Akbar
Planning	06/29/2021	F. Khamis
Fire	06/29/2021	F. Khamis
Health	07/02/2021	F. Khamis
Environ. Control		
Public Works		



BASEMENT FLOOR RCP
1/8" = 1'-0"



MAIN FLOOR RCP
1/8" = 1'-0"



Division	Sparkz	Plans Reviewed for Compliance	Yes
Building	5802S, 2218S	Compliance	Yes
Fire	1/21/2021	Compliance	Yes
Life Safety	1/21/2021	Compliance	Yes
Health	1/21/2021	Compliance	Yes
Environment	1/21/2021	Compliance	Yes
Public Works	1/21/2021	Compliance	Yes

RCP LEGEND	
	GYP. BOARD CEILING
	EXISTING CEILING TO REMAIN V.I.F.
	CEILING HEIGHT DESIGNATION PER AREA

- RCP GENERAL NOTES:**
1. THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY RETURN AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE DESIGNER.
 2. SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS AND FIRE ALARM DEVICES, ETC.
 3. FOR FURTHER DIMENSIONS SEE LARGE SCALE PLANS, SECTIONS, ELEVATIONS AND DETAILS.
 4. SPRINKLER HEADS ARE NOT SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. CONTRACTOR TO INSTALL SUFFICIENT HEADS IN ALL SPACES TO PROVIDE 100% COVERAGE AS REQUIRED UNDER NFPA-13 AND OWNER'S INSURANCE COMPANIES' REQUIREMENTS. CENTER ALL SPRINKLER HEADS IN CEILING TILES AND GYPSUM BOARD CEILINGS.
 5. 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC.
 6. ALL CEILING ELEMENTS TO BE PLACED IN THE CENTER OF CEILING TILE OR CENTER OF GYP. BOARD CEILING AREA V.N.O.
 7. ALL CEILING HEIGHTS ARE 10'-0" V.N.O.

No.	Description	Date
1	PLAN CHECK	07/08/2021

235 GREEN VISTA DRIVE, SUITE # 107
SPARKS, NV 89431
775.533.5211 (PHONE)
775.533.5211 (FAX)
E-MAIL: INFINITYENR@GMAIL.COM



07/12/2021
SIGNED ELECTRONICALLY

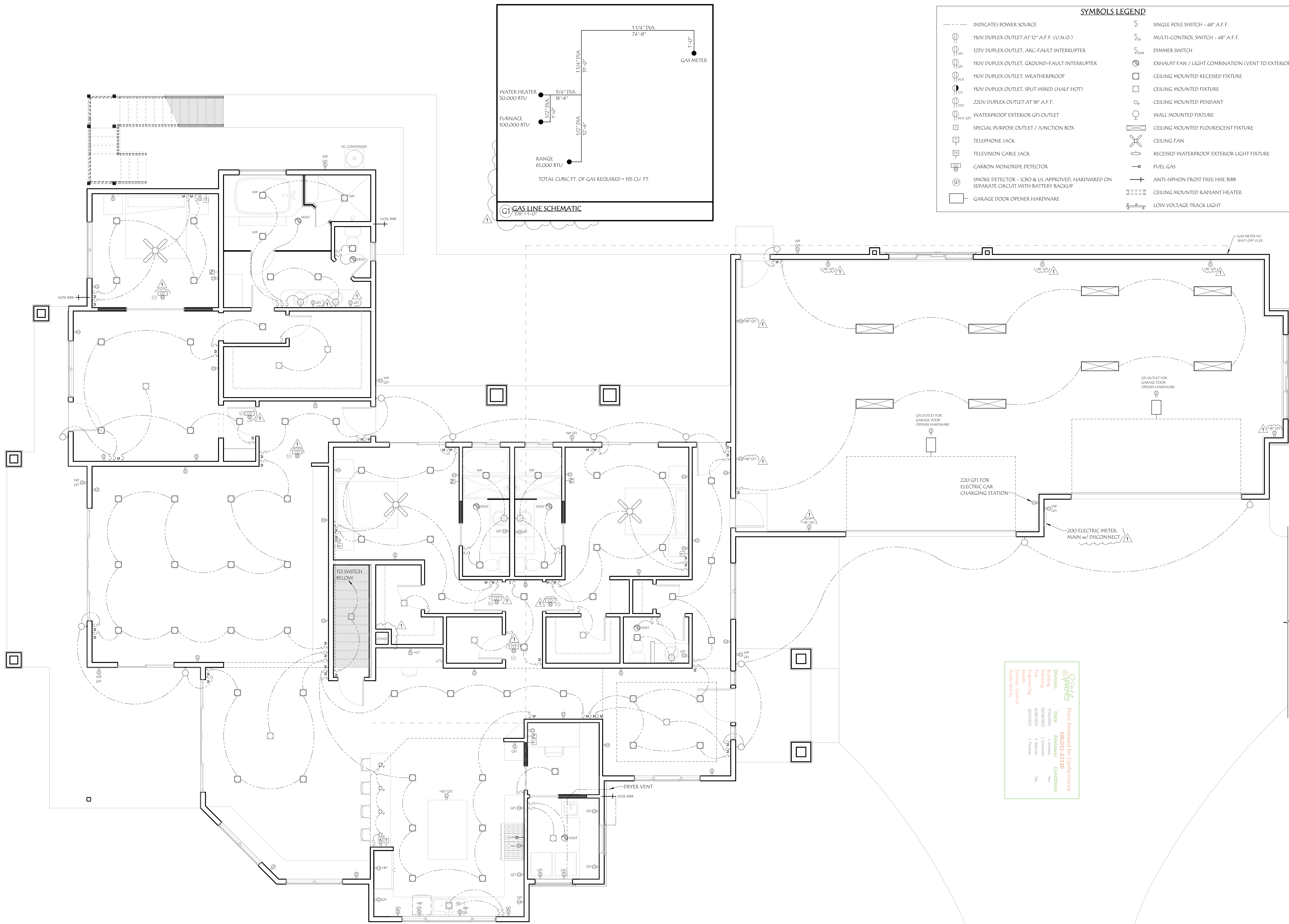
REFLECTED CEILING PLANS
5708 VISTA TERRACE
SPARKS, NV.

FOR JURISDICTION
APPROVAL

Project Number 18-1224
Date JUNE 2021
Drawn By CF
Checked By WA

A5.1

Scale As indicated



No.	Description	Date
1	PLAN CHECK	07/08/2021

205 GREEN VISTA DRIVE, SUITE# 107
 SPARKS, NV 89431
 775.533.5211 (PHONE)
 E-MAIL: INFINITYRECO@GMAIL.COM



07/12/2021
 SIGNED ELECTRONICALLY

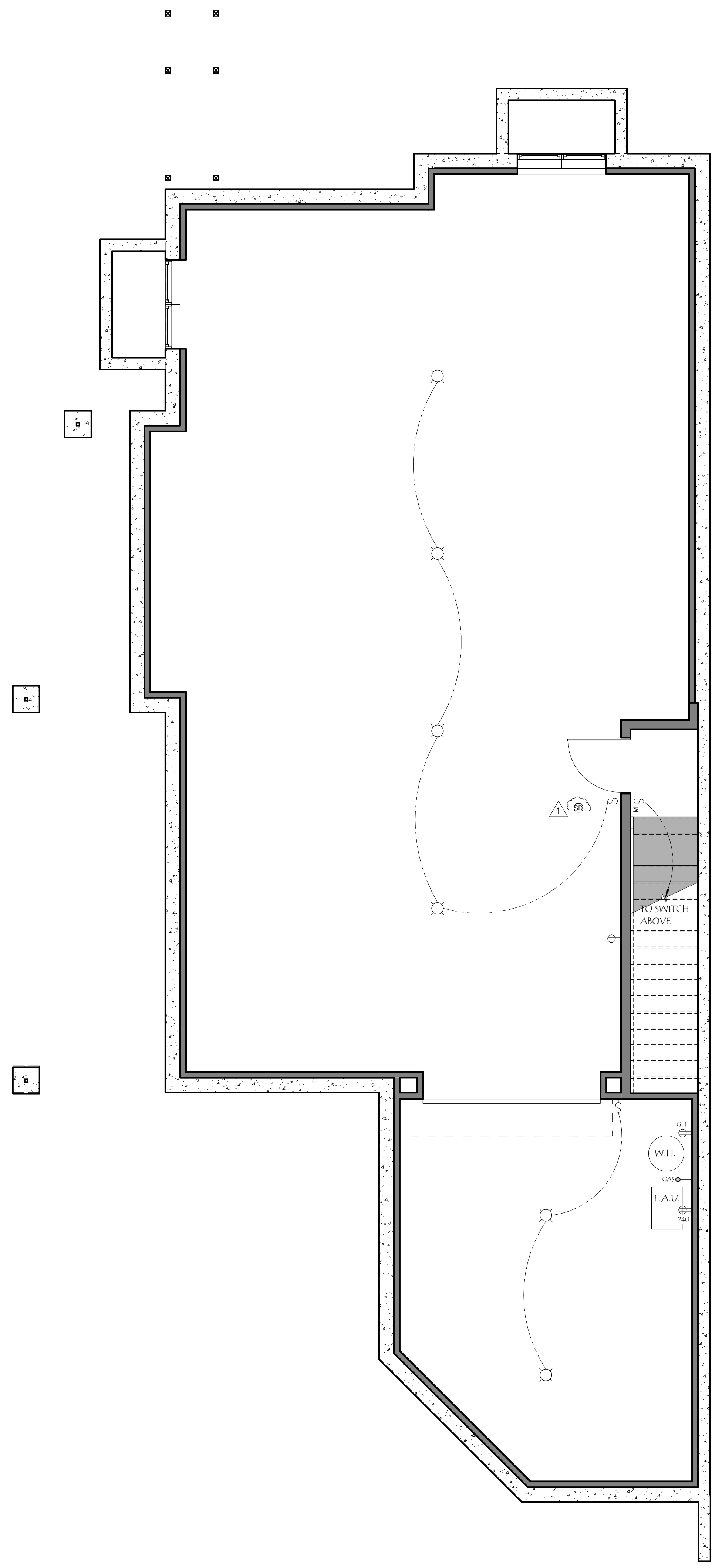
MAIN FLOOR MEP PLAN
5708 VISTA TERRACE
SPARKS, NV.

FOR JURISDICTION
 APPROVAL

Project Number 18-1224
 Date JUNE 2021
 Drawn By CF
 Checked By WA

MEP1.1
 Scale As indicated

MAIN FLOOR PLAN
 1/4" = 1'-0"



MECHANICAL NOTES:

M1. FIREPLACES: PER **M1801.1**, CONTRACTOR SHALL PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL FIREPLACES AT THE TIME OF INSPECTION. ANY DECORATIVE SHROUDS WILL NEED TO BE LISTED FOR USE WITH THE FIREPLACE PER **M1804.2.2**.

M2. CONDENSATE DISPOSAL: CONDENSATE FROM COOLING COILS AND EVAPORATORS SHALL BE CONVEYED FROM THE DRAIN PAN OUTLET TO AN APPROVED PLACE OF DISPOSAL PER **M1411.3**.

M3. FUEL-BURNING APPLIANCES: WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL-BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR OPENING SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM, ISOLATED FROM INSIDE THE THERMAL ENVELOPE. SUCH ROOMS SHALL BE SEALED AND INSULATED IN ACCORDANCE WITH THE ENVELOPE REQUIREMENTS OF TABLE R402.1.2, WHERE THE WALLS, FLOORS AND CEILINGS SHALL MEET NOT LESS THAN THE BASEMENT WALL R-VALUE REQUIREMENT. THE DOOR INTO THE ROOM SHALL BE FULLY GASKETED AND ANY WATER LINES AND DUCTS IN THE ROOM INSULATED IN ACCORDANCE WITH SECTION R408. THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO A MINIMUM OF R-8.

M4. BUILDING THERMAL ENVELOPE (IECC R402.4.1): SHALL COMPLY WITH SECTIONS R402.4.1.1 OR R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTING.

M5. TESTING (IECC R402.4.1.2): A SINGLE FAMILY DWELLING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 5.5 CHANGES PER HOUR. TESTING SHALL BE IN ACCORDANCE TO ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF .02 INCH W.G. (20 PASCAIS).

M6. DRYER DUCT TERMINATION (MIS02.4): EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING. EXHAUST DUCT TERMINATIONS SHALL BE IN ACCORDANCE WITH THE DRYER MANUFACTURER'S INSTALLATION INSTRUCTIONS. IF THE MANUFACTURER'S INSTRUCTIONS DO NOT SPECIFY A TERMINATION LOCATION, THE EXHAUST DUCT SHALL TERMINATE NOT LESS THAN 5' IN ANY DIRECTION FROM OPENINGS INTO BUILDINGS. EXHAUST DUCT TERMINATIONS SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED.

M7. DRYER DUCT MATERIAL & SIZE (MIS02.4.1): EXHAUST DUCTS SHALL HAVE A SMOOTH INTERIOR FINISH AND SHALL BE CONSTRUCTED OF METAL NOT LESS THAN 0.0157 INCHES IN THICKNESS. THE DUCT SHALL BE 4" NOMINAL IN DIAMETER.

M8. DRYER DUCT LENGTH: THE MAXIMUM ALLOWABLE DUCT LENGTH SHALL BE DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTIONS **MIS02.4.5.1** THROUGH **MIS02.4.5.3**.

THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE 35' FROM THE CONNECTION TO THE TRANSITION DUCT FROM THE DRYER TO THE OUTLET TERMINAL. WHERE FITTINGS ARE USED, THE MAXIMUM LENGTH OF THE EXHAUST DUCT SHALL BE REPLACED IN ACCORDANCE WITH TABLE **MIS02.4.5.1**.

PLUMBING NOTES:

P1. BATH TUBS & SHOWERS: PER **P2708.4** AND **P2718.3** THE REQUIRED TEMPERATURE LIMITING DEVICES SHALL BE SET AT 120° F.

P2. WATER HEATERS (INSTALLED IN GARAGES): PER **P2801.7**, HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE GARAGE FLOOR.

P3. WATER HEATER SEISMIC BRACING: IN SEISMIC DESIGN CATEGORIES DO, P1, D2 AND TOWNHOUSES IN SEISMIC DESIGN CATEGORY C, WATER HEATERS SHALL BE ANCHORED OR STRAPPED IN THE UPPER ONE-THIRD AND IN THE LOWER ONE-THIRD OF THE APPLIANCE TO RESIST A HORIZONTAL FORCE EQUAL TO ONE-THIRD OF THE OPERATING WEIGHT OF THE WATER HEATER, ACTING IN ANY HORIZONTAL DIRECTION, OR IN ACCORDANCE WITH THE APPLIANCE MANUFACTURER'S RECOMMENDATIONS.

P4. BACKWATER VALVES: WHERE THE FLOOD LEVEL RIMS OF PLUMBING FIXTURES ARE BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, THE FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE BUILDING DRAIN BRANCH OF THE BUILDING DRAIN OR HORIZONTAL BRANCH SERVING SUCH FIXTURES.



Sparks
Risks Reviewed for Conformance

Division	Date	SB02Z1218	Conditions
Building	07/12/2021	Yes	Yes
Fire	08/20/2021	Yes	Yes
Life Safety	07/12/2021	Yes	Yes
Fire Protection	07/12/2021	Yes	Yes
Health	07/12/2021	Yes	Yes
Environment	07/12/2021	Yes	Yes
Public Works	07/12/2021	Yes	Yes

ELECTRICAL

- THE LABOR, EXECUTION AND MATERIALS REQUIRED FOR ALL ELECTRICAL WORK AS INDICATED IN THE DRAWINGS SHALL BE IN ACCORDANCE WITH THOSE APPLICABLE SECTIONS OF THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE.
- PROVIDE ALL LABOR AND MATERIALS TO INSTALL ELECTRIC WORK, COMPLETE, IN PLACE AND AS SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN, AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION. WORK TO INCLUDE BUT NOT LIMITED TO: A. INSTALLATION OF NEW ELECTRIC METER, RISER AND CONNECTION TO RELOCATED POWER LINES; B. COMPLETE ELECTRICAL WIRING, INCLUDING NEW CIRCUITS AND DISTRIBUTION PANEL WIRING, UP TO AND INCLUDING CONNECTION OF ALL ELECTRICAL FIXTURES, SMOKE DETECTORS, ETC. ALL MISCELLANEOUS WIRING, INCLUDING RELOCATING EXISTING FIXTURES AND SWITCHES, IF NECESSARY; C. WIRING, UP TO AND INCLUDING GROUND FAULT INTERRUPTER, CIRCUITS; D. WIRING, UP TO AND INCLUDING CONNECTION OF ALL ELECTRICAL RECEPTACLES, OUTLETS, SWITCHES; E. WIRING, UP TO AND INCLUDING CONNECTION OF ALL ELECTRICAL APPLIANCES, FIXTURES, HEATERS, MOTORS, FANS, ETC.; F. WIRING, UP TO AND INCLUDING CONNECTION OF ALL SECONDARY SYSTEMS, PHONE, CATV AND INTERCOM SYSTEM, ETC.; G. ALL MISCELLANEOUS WIRING, INCLUDING RELOCATING EXISTING FIXTURES AND SWITCHES, IF NECESSARY.
- ALL MATERIALS SHALL BE NEW AND LISTED BY U.L. WIRING, CONDUIT AND BOXES PER CODE. OUTLETS SHALL BE POLARIZED, GROUNDED TYPE. SWITCHES SHALL BE SILENT TYPE OR DIMMER TYPE. RECEPTACLE AND SWITCH COVER PLATE TO BE SELECTED BY OWNER.
- FINISH MATERIALS SHALL BE BY ALLOWANCE. ALL OTHER MATERIALS SHALL BE AS SELECTED BY CONTRACTOR AND APPROVED BY OWNER.
- INSTALL ALL MATERIALS IN STRICT CONFORMANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND ALL GOVERNING CODES.
- IDENTIFY ALL CIRCUITS BY MEANS OF A NEATLY TYPED LABEL ON DISTRIBUTION PANEL.
- IN HABITABLE AREAS, ON WALLS LONGER THAN 24", A RECEPTACLE MUST BE LOCATED WITHIN 2' FROM ANY POINT MEASURED IN HABITABLE AREAS, ON WALLS LONGER THAN 24", A RECEPTACLE MUST BE LOCATED WITHIN 2' FROM ANY POINT MEASURED ALONG THE WALL (2" CENTER TO CENTER MAX.) IN KITCHENS, A RECEPTACLE MUST BE LOCATED WITHIN 2' FROM ANY POINT MEASURED ALONG THE WALL (4" CENTER TO CENTER MAX.) BUT NOT MORE THAN 20" ABOVE COUNTER, MIN. 1' ON PENINSULA, 1' ON ISLAND, 2' ON ISLAND IF BROKEN UP BY APPLIANCE IN THE MIDDLE. IN GENERAL, CENTER CONVENIENCE OUTLETS 12" OFF FLOOR. SWITCHES TO BE CENTERED 44" ABOVE FLOOR UNLESS OTHERWISE NOTED OR IMPRACTICAL.
- WHERE TWO OR MORE SWITCHES AND/OR OUTLETS ARE INSTALLED TOGETHER, THEY SHALL HAVE GANG PLATES.
- CONCEAL ALL WIRING WITHIN WALLS, FLOORS, CEILING, CRAWL SPACES OR UNDERGROUND. NO EXPOSED WIRING WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF OWNER.
- INSTALL ALL LIGHT FIXTURES AND FANS SO THAT THEIR WEIGHT IS SUPPORTED BY STRUCTURAL MEMBERS OF THE BUILDING. NO TOUGLES OR EXPANSION FASTENERS THROUGH WALLBOARD WILL BE ACCEPTED.
- PROVIDE ALL LIGHTING FIXTURES WITH LAMPS AS SHOWN IN FIXTURE SCHEDULE. USE LONG LIFE TYPE WHEREVER POSSIBLE. LAMPS USED DURING CONSTRUCTION SHALL BE REPLACED WITH NEW AT JOB COMPLETION.
- REMOVE OR MAKE ACCESSIBLE ALL AREAS REQUIRED FOR THE INSTALLATION OF ALL ELECTRICAL WORK - REPAIR, PATCH OR REPLACE THOSE AREAS TO CONFORM TO THEIR ORIGINAL CONDITION.
- UPON COMPLETION OF THIS SECTION, TEST ALL PARTS OF THE ELECTRICAL SYSTEM IN THE PRESENCE OF THE OWNER. DEMONSTRATE THAT ALL EQUIPMENT, APPLIANCES AND FIXTURES INSTALLED AND/OR CONNECTED, FUNCTION IN THE REQUIRED MANNER. TEST ALL CIRCUITS FOR PROPER NEUTRAL CONNECTIONS. TEST ALL GFI CIRCUITS FOR PROPER FUNCTION. PROVIDE OWNER WITH ALL MANUFACTURER'S WRITTEN GUARANTEES AND OPERATING INSTRUCTIONS.
- COMBUSTIBLE INSULATION SHALL BE SEPARATED NOT LESS THAN 3" FROM RECESSED LUMINAIRES, FAN MOTORS AND OTHER HEAT-PRODUCING DEVICES.
- EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP LANDING OF THE STAIRWAY.
- TO FACILITATE FUTURE INSTALLATION USE OF BY CHARGES, INSTALL A LISTED RACEWAY TO ACCOMMODATE 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN NOMINAL 1-INCH INSIDE DIMENSION.
- ALL 120-VOLT SINGLE PHASE 15 & 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, DENS, BEDROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS, LAUNDRY AREAS, OR SIMILAR ROOMS SHALL BE AFCI PROTECTED PER **NEC 210.12**.
- ALL 125-VOLT 15 & 20 AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER **NEC 406.11**.
- KITCHEN COUNTERTOP SURFACES SHALL BE SUPPLIED BY NO FEWER THAN TWO SMALL PULLANCE BRANCH CIRCUITS PER **NEC 210.52(B)(3)**.
- AT LEAST ONE 120-VOLT, 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM OUTLETS, WHICH SHALL HAVE NO OTHER OUTLETS. **NEC 210.11(C)(3)**.
- THE LAUNDRY SHALL BE SUPPLIED BY AT LEAST ONE 20-AMPERE BRANCH CIRCUIT, WHICH WILL HAVE NO OTHER OUTLETS. **NEC 210.11(C)(2)**.
- THE BRANCH CIRCUIT SUPPLYING OUTLETS IN THE GARAGE SHALL NOT SUPPLY OUTLETS OUTSIDE THE GARAGE. **NEC 210.52(G)**.
- ALL CEILING ELEMENTS TO BE PLACED IN THE CENTER OF CEILING TILE OR CENTER OF GYP. BOARD CEILING AREA U.N.O.

No.	Description	Date
1	PLAN CHECK	07/08/2021

235 GREEN VISTA DRIVE, SUITE# 107
SPARKS, NV 89431
775/543-5211 (PHONE)
E-MAIL: INFINITYENR@GMAIL.COM

Infinity
ENGINEERING INC.

07/12/2021
SIGNED ELECTRONICALLY

BASEMENT FLOOR MEP PLAN

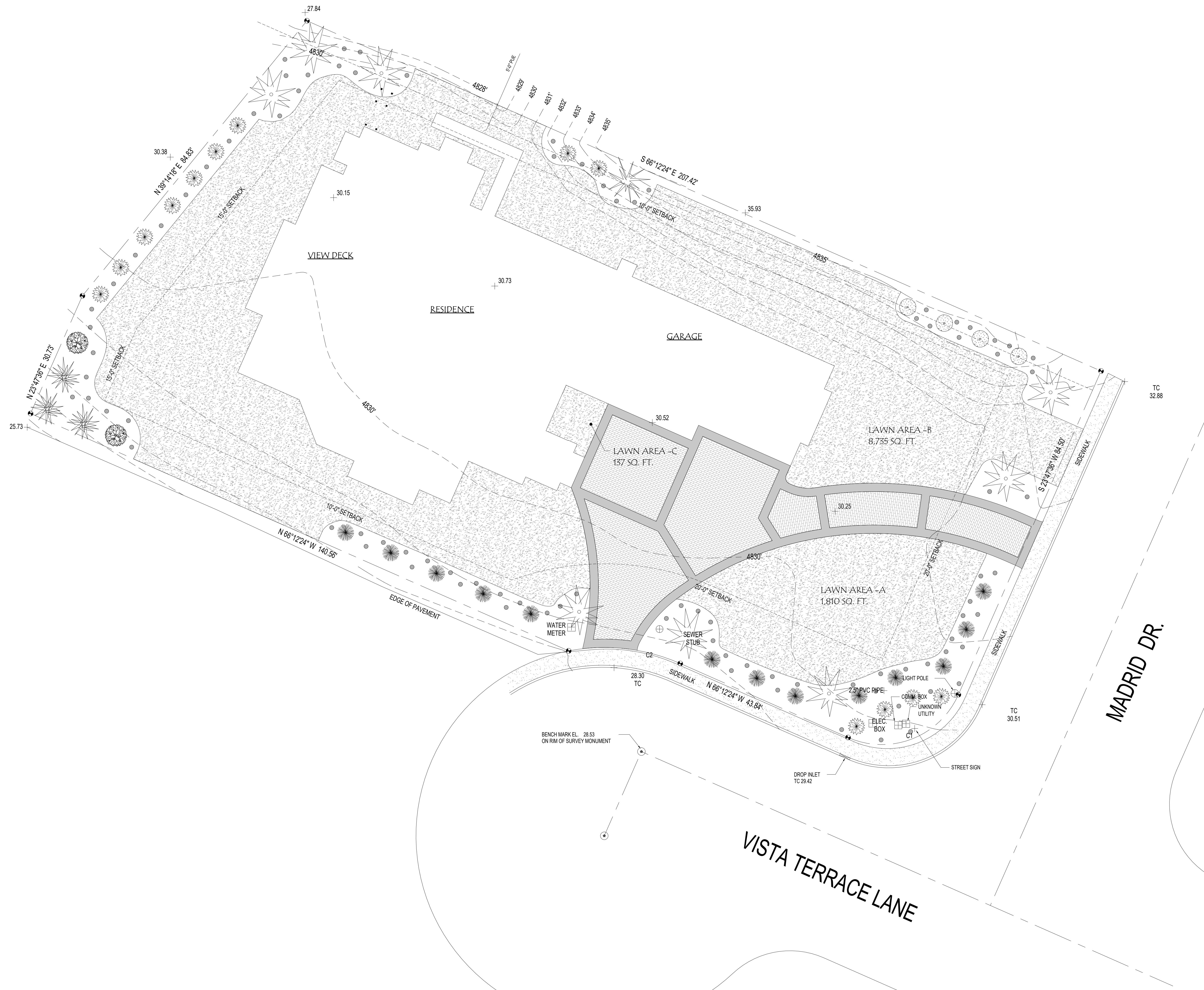
5708 VISTA TERRACE
SPARKS, NV.

FOR JURISDICTION APPROVAL

Project Number 18-1224
Date JUNE 2021
Drawn By CF
Checked By WA

MEP1.2
Scale As indicated

BASEMENT FLOOR MEP
1/4" = 1'-0"



- NOTES:**
- BUILDER TO INSTALL 4" PVC SLEEVE UNDER DRIVE AND WALKWAYS, TYP.
 - ALL LAWN & PERENNIAL AREAS TO RECEIVE MIN. OF 6" TOPSOIL OR INCORPORATION OF SUFFICIENT ORGANIC MATERIAL TO LOOSEN SOIL TO A 6" DEPTH, TYP.
 - ALL EXCESS MATERIALS SHALL BE REMOVED FROM SITE BY CONTRACTOR.
 - ANY BOULDERS FOUND DURING EXCAVATION SHALL BE USED FOR LANDSCAPING, LOCATION PER OWNER.
 - ALL AREAS DISTURBED BY CONSTRUCTION MUST BE LANDSCAPED TO THE APPROVAL OF THE V.R.A.C.C.
- IRRIGATION:**
- IRRIGATION PIPE AND SIZES SHALL BE PER LANDSCAPING CONTRACTOR'S SPEC'S.
 - IRRIGATION SPRAY HEADS SHALL BE PER LANDSCAPING CONTRACTOR'S SPEC'S.
 - IRRIGATION DRIP LINES SHALL BE PER LANDSCAPING CONTRACTOR'S SPEC'S.
 - IRRIGATION ZONE LIMITS, CONTROLLER, REDUCED PRESSURE DEVICES AND BACK FLOW PREVENTER LOCATIONS ARE PER LANDSCAPING CONTRACTOR'S SPEC'S.

LANDSCAPE LEGEND

GRASS / TURF

PLANT LIST

TREES:	SIZE	QTY.
AUSTRIAN PINE (PINUS NIGRA)	2 1/2 CAL	8
BOSNIAN PINE (PINUS LEUCODERMIS)	2 1/2 CAL	2
SHRUBS:		
BURNING BUSH (EUONYMUS ALTA 'COMPACTA')	5 GAL	5
DWARF MUGO PINE (PINUS MUGO MUGO)	5 GAL	2
MOSS PHLOX (PHLOX SUBULATA)	5 GAL	92
JUNIPER (JUNIPERUS HORIZONTALIS)	5 GAL	15
BLUE MIST SPIRAEA (CARYOPTERIS CLANDONESIS)	5 GAL	15
MUGO PINE (PINUS MUGHO)	5 GAL	4

No.	Description	Date

235 GREEN VISTA DRIVE, SUITE# 107
 SPARKS, NV 89411 (PHONE)
 775-533-5211 (PHONE)
 E-MAIL: INFINITYENR@GMAIL.COM

Infinity
 ENGINEERING, INC.

Professional Engineer Seal for Waseem Akhtar, State of Nevada, License No. 123120, Exp. 12/31/20, No. 14559.

10/18/2021
 SIGNED ELECTRONICALLY

LANDSCAPE PLAN
 5708 VISTA TERRACE
 SPARKS, NV.

FOR JURISDICTION	APPROVAL
Project Number	18-1224
Date	JUNE 2021
Drawn By	CF
Checked By	WA
Scale	As indicated

City of Sparks Plans Reviewed for Conformance

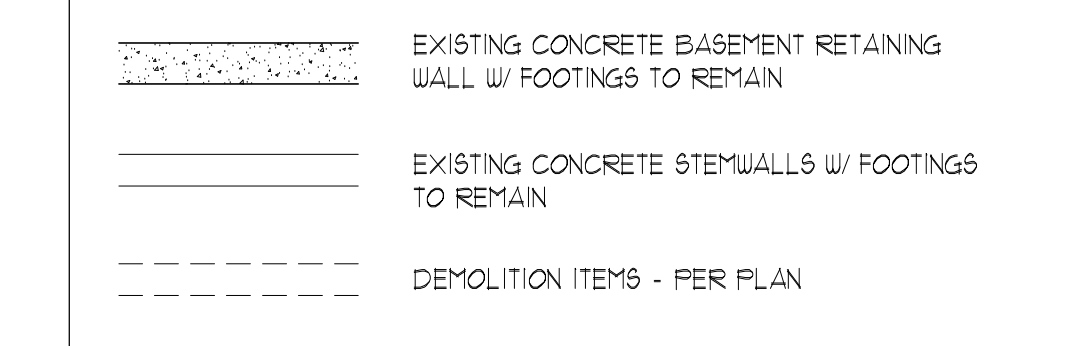
Division	Date	Reviewer	Conditions
Building	7/15/2021	J. Viviano	Yes
Planning	10/28/2021	J. Cummins	Yes
Fire	6/30/2021	F. Mariani	Yes
Engineering	10/7/2021	L. Thomas	Yes
Health			
Environ. Control			
Public Works			

LANDSCAPE PLAN
 1" = 10'-0"

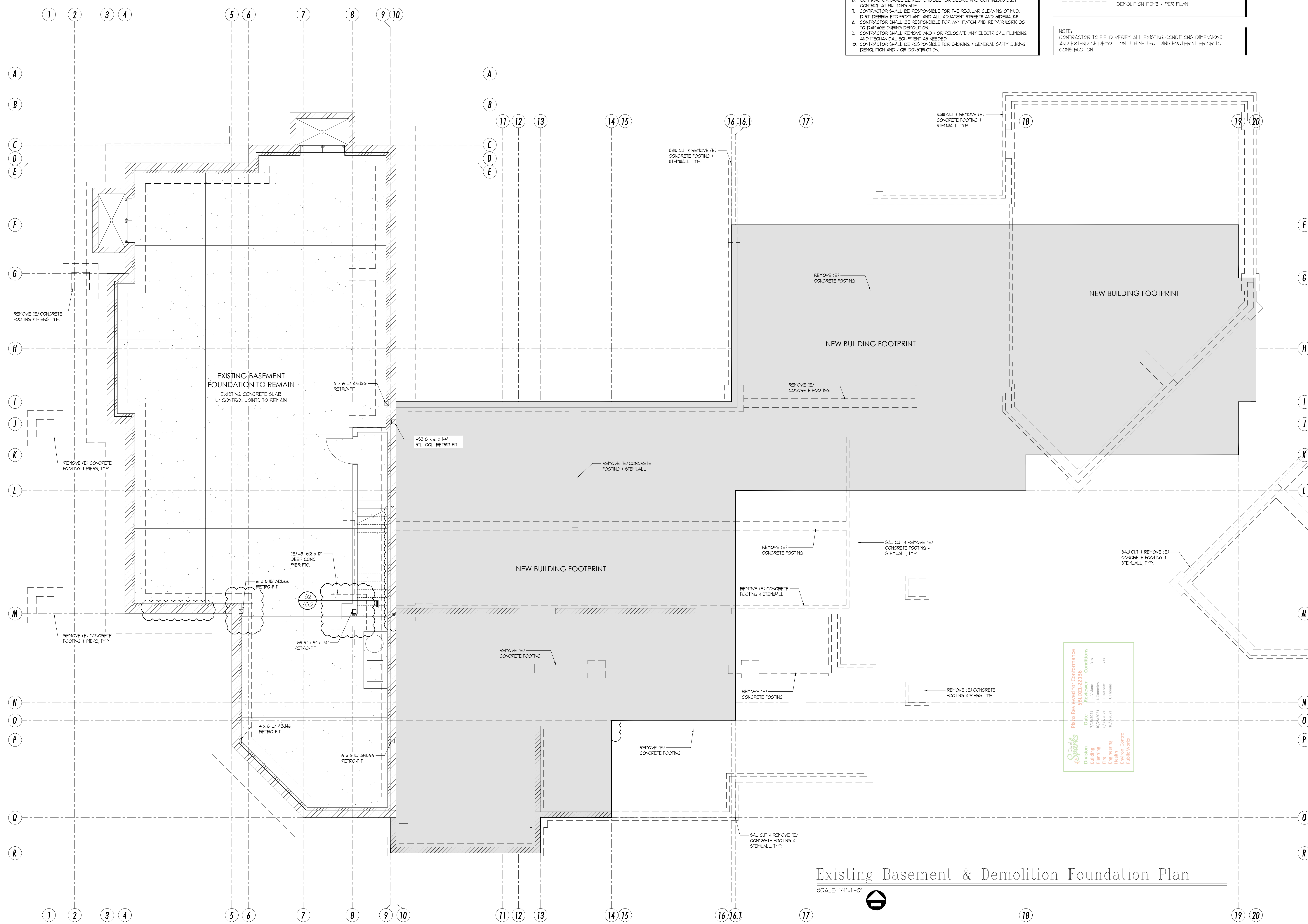
DEMOLITION NOTES

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
2. REVIEW ALL SALVAGE REQUIREMENTS W/ OWNER.
3. ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER.
4. ALL DEMOLITION OF MATERIALS SHALL BE REMOVED AND HAULED FROM SITE AND PROPERLY DISPOSED OF.
5. CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE IN A NEAT AND FINISHED APPEARANCE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DEBRIS AND CONTINUOUS DUST CONTROL AT BUILDING SITE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REGULAR CLEANING OF MUD, DIRT, DEBRIS, ETC FROM ANY AND ALL ADJACENT STREETS AND SIDEWALKS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PATCH AND REPAIR WORK DO TO DAMAGE DURING DEMOLITION.
9. CONTRACTOR SHALL REMOVE AND / OR RELOCATE ANY ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT AS NEEDED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING & GENERAL SAFETY DURING DEMOLITION AND / OR CONSTRUCTION.

WALL LEGEND



NOTE:
CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND EXTEND OF DEMOLITION WITH NEW BUILDING FOOTPRINT PRIOR TO CONSTRUCTION



REVISIONS	DATE

2135 GREEN VISTA DRIVE, SUITE#107
SPARKS, NEVADA 89431
775-333-8211 (PHONE)
775-333-8211 (PHONE)
E-Mail: infinityengr@gmail.com

Infinity
ENGINEERING INC.

5-14-21

EXISTING BASEMENT & DEMOLITION FOUNDATION PLAN

NEW SINGLE FAMILY CUSTOM RESIDENCE
5708 VISTA TERRACE LANE
LOT 1, VISTA RIDGE SUBD. UNIT 6
SPARKS, NV 89436
A.P.N. 518-692-01

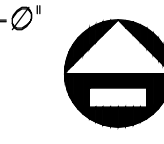
DRAWN BY:
WJA
JOB #
20-1449
DATE:
5-14-2021
SCALE:
FOR JURISDICTION

APPROVAL

S1.0

Existing Basement & Demolition Foundation Plan

SCALE: 1/4"=1'-0"

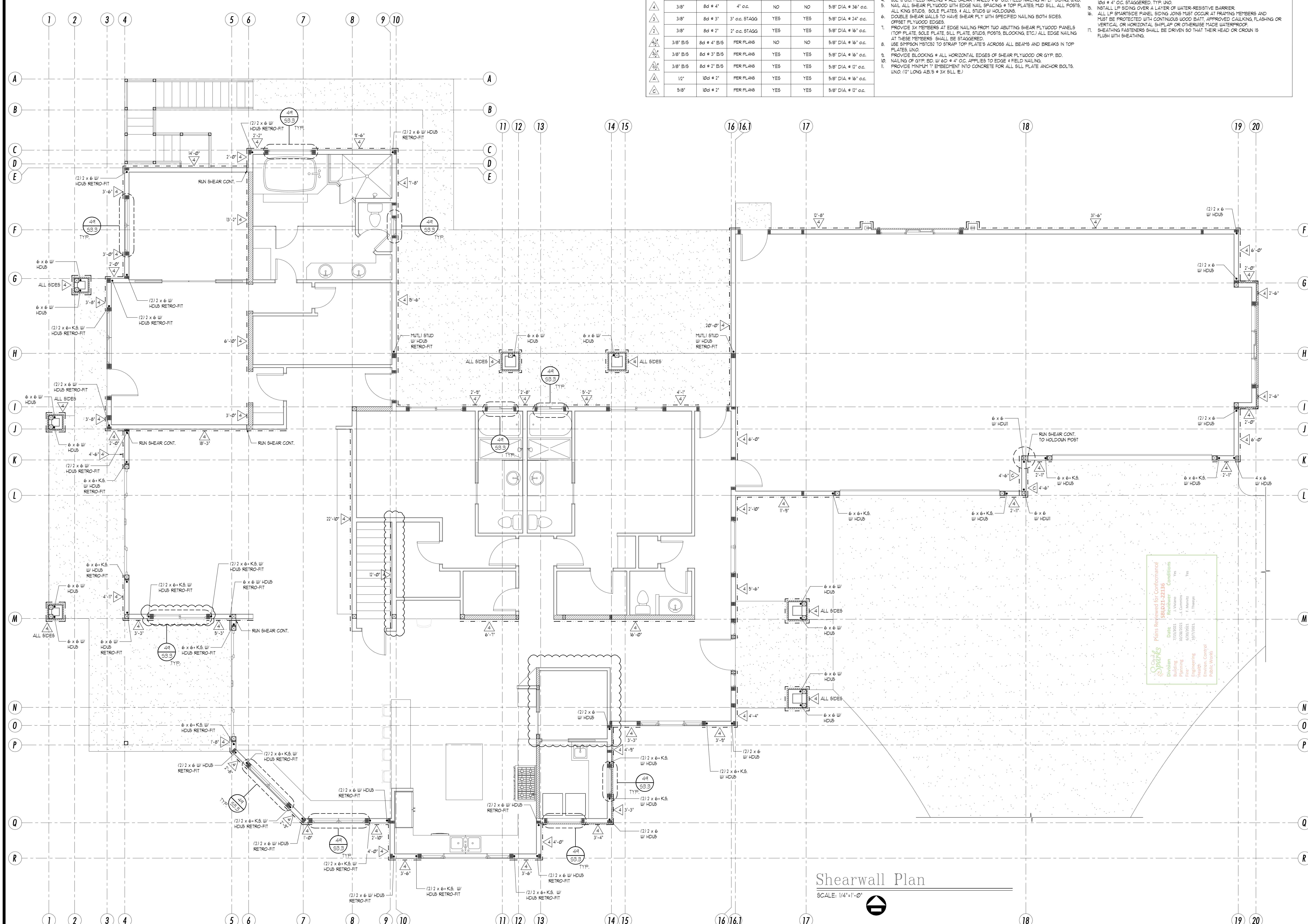


SHEAR WALL # A.B. SCHEDULE

SHEAR PLY THICKNESS	EDGE NAIL SPACING	SOLE PLATE NAILING	3x SILL PL. REQ'D.	3x FRAM'G REQ'D.	AB. 1/2 REQ'D. UNO. o/ FND. PLAN
3/8"	8d # 6"	6" o.c.	NO	NO	5/8" DIA # 48" o.c.
3/8"	8d # 4"	4" o.c.	NO	NO	5/8" DIA # 36" o.c.
3/8"	8d # 3"	3" o.c. STAGG.	YES	YES	5/8" DIA # 24" o.c.
3/8"	8d # 2"	2" o.c. STAGG.	YES	YES	5/8" DIA # 16" o.c.
3/8" B/S	8d # 4" B/S	PER PLANS	NO	NO	5/8" DIA # 16" o.c.
3/8" B/S	8d # 3" B/S	PER PLANS	YES	YES	5/8" DIA # 16" o.c.
3/8" B/S	8d # 2" B/S	PER PLANS	YES	YES	5/8" DIA # 12" o.c.
1/2"	10d # 2"	PER PLANS	YES	YES	5/8" DIA # 16" o.c.
5/8"	10d # 2"	PER PLANS	YES	YES	5/8" DIA # 12" o.c.

SHEAR WALL NOTES

- USE 3/8" APA RATED C-D, C-C EXTERIOR GRADE SHEAR PLY / OSB OR RATED EQUIVALENT UNO.
- IF SIDING MAY BE REPLACED W/ 5/8" VERTICAL GROOVE LP SMART PANEL SIDING. USE COMMON NAILS UNO. SEE NAIL SCHEDULE FOR NAIL LENGTH & THICKNESS REQUIREMENTS. USE STEEL OR HOT-DIP GALVANIZED NAILS AND ANCHOR BOLTS WITH PRESSURE TREATED WOOD. TYP. UNO.
- USE 3" O.C. FIELD NAILING # ALL SHEAR PANELS & 6" O.C. FIELD NAILING AT LP SIDING UNO.
- NAIL ALL SHEAR PLYWOOD WITH EDGE NAIL SPACING # TOP PLATES, MUD SILL, ALL POSTS, ALL KING STUDS, SOLE PLATES, # ALL STUDS W/ HOLDDOWS.
- DOUBLE SHEAR WALLS TO HAVE SHEAR PLY WITH SPECIFIED NAILING BOTH SIDES. OFFSET PLYWOOD EDGES.
- PROVIDE 3x MEMBERS AT EDGE NAILING FROM TWO ABUTTING SHEAR PLYWOOD PANELS. TOP PLATE, SOLE PLATE, SILL PLATE, STUDS, POSTS, BLOCKING, ETC. ALL EDGE NAILING AT THESE MEMBERS SHALL BE STAGGERED.
- USE SIMPSON MTC52 TO STRAP TOP PLATES ACROSS ALL BEAMS AND BREAKS IN TOP PLATES UNO.
- PROVIDE BLOCKING # ALL HORIZONTAL EDGES OF SHEAR PLYWOOD OR GYP. BD. NAILING OF GYP. BD. W/ 6d # 4" O.C. APPLIES TO EDGE & FIELD NAILING.
- PROVIDE MINIMUM 1" EMBEDMENT INTO CONCRETE FOR ALL SILL PLATE ANCHOR BOLTS. UNO 1/2" LONG AB. S # 3x SILL PL.
- ALL FOUNDATION SILL PLATES, NAILERS, AND LEDGERS IN DIRECT CONTACT WITH CONCRETE AND WITHIN 6" OF GROUND SHALL BE PRESSURE TREATED. ALL PRESSURE TREATED WOOD SHALL BE DOT SODIUM BORATE (SBX) OR CHROMIATED COPPER ARSENATE (CCA-C). OTHER TREATMENTS NOT RECOMMENDED.
- USE 3" x 3" x 1/4" PLATE WASHERS AT ALL ANCHOR BOLTS. TYPICAL UNO.
- MULTIPLE STUDS WITH HOLDDOWS SHALL BE NAILED TOGETHER WITH 2-ROUS OF 10d # 4" O.C. STAGGERED. TYP. UNO.
- INSTALL LP SIDING OVER A LAYER OF WATER-RESISTIVE BARRIER.
- ALL LP SMARTSIDE PANEL SIDING JOINTS MUST OCCUR AT FRAMING MEMBERS AND MUST BE PROTECTED WITH CONTINUOUS WOOD BATT. APPROVED CAULKING, FLASHING OR VERTICAL OR HORIZONTAL SHIP-LAP OR OTHERWISE MADE WATERPROOF.
- SHEATHING FASTENERS SHALL BE DRIVEN SO THAT THEIR HEAD OR CROWN IS FLUSH WITH SHEATHING.



Shearwall Plan
SCALE: 1/4" = 1'-0"

REVISIONS DATE

2135 GREEN VISTA DRIVE, SUITE# 107
SPARKS, NEVADA 89431
775-333-5211 (PHONE)
E-Mail: infinityeng@msn.com

Infinity
ENGINEERING INC.

PROFESSIONAL ENGINEER - STATE OF NEVADA
WASEEM AKHTAR
Exp. 12-31-22
DIR. 4614453
5-14-22

SHEARWALL PLAN

NEW SINGLE FAMILY CUSTOM RESIDENCE
5708 VISTA TERRACE LANE
LOT 1, VISTA RIDGE SUBD. UNIT 6
SPARKS, NV 89436
A.P.N. 518-692-01

Plans Reviewed for Conformance with Building Code

Division	Date	Reviewed	Conditions
Building	7/15/2021	J. Sparks	Yes
Planning	5/29/2021	J. Sparks	Yes
Engineering	5/29/2021	J. Sparks	Yes
Health			
Fire			
Public Works			

DRAWN BY:
WA
JOB #:
20-1449
DATE:
5-14-2021
SCALE:
FOR JURISDICTION

APPROVAL

S1.2

UPPER DECK FRAMING NOTES

SUBFLOOR:
3/4" PLYWOOD SHEATHING, EXPOSURE 1, T & G UNDERLAYMENT GRADE, APA 5/8" RATED OR EQUIVALENT, LAID AT RIGHT ANGLES OVER FLOOR. 24 O.C. 10d SCREW SHANK NAILS JOISTS. STAGGER JOINTS, GLUE & NAIL WITH # 6 O.C. AT ALL EDGES & BOUNDARIES @ 12" O.C. FIELD, TYPICAL UNO.

DECK FLOOR JOISTS:
11/8" RESIDENTIAL 1-JOISTS, PER PLAN @ 16" O.C. TYP. UNO, INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT RIGHT ANGLES OVER BEARINGS. MAINTAIN 1/2" MIN. CLEARANCE TO SOIL. BLOCK ALL JOISTS @ BEARING POINTS PER MFR'S SPECIFICATIONS.

WATERPROOF DECK:
GACODECK WATERPROOF DECK SYSTEM OR EQ. INST. PER MFG. SPECIFICATIONS.

SM JOISTS:
PROVIDE MANUFACTURED 1-1/4" MIN. LVL. LVL. OR VERSALAM RM JOISTS, TYPICAL.

STRUCTURAL NOTES:
SEE SHEET S31 FOR STANDARD DETAILS PER APPLICATION. WHERE POST AND MULTIPLE STUDS ARE SPECIFIED, THEY ARE TO BE STACKED IN WALL FRAMING AND SOLID VERTICAL GRAN BLOCKING SHALL BE PROVIDED AT ALL FLOOR LEVEL'S DOWN TO THE FOUNDATION.

ROOF VENTILATION:
SEE ARCHITECTURAL PLANS FOR ROOF VENTILATION REQUIREMENTS AND CALCULATIONS.

ROOF TRUSSES:
CONTRACTOR TO FIELD VERIFY TRUSS SPANS PRIOR TO ORDERING ROOF TRUSSES.

ROOF FRAMING NOTES

ROOF SHEATHING:
1/2" CDX PLYWOOD (OR EQUAL) EXPOSURE 1, APA 5/8" RATED (4020). APPLY FACE GRAIN PERPENDICULAR TO FRAMING @ STAGGER JOINTS. NAIL WITH 10d @ 6" O.C. AT SUPPORTED EDGES AND BOUNDARIES, 12" O.C. FIELD, TYP. UNO.

TRUSSES:
PRE-MANUFACTURED ENGINEERED TRUSSES @ 24" O.C.
- PROVIDE 2x STUD PER TRUSS PLY @ ALL GIRDER TRUSS BEARING POINTS & PLATES UNO.
- DRAG TRUSSES SHALL BE DESIGNED BY TRUSS MANUFACTURER FOR THE INDICATED LOAD FOR REVIEW AND APPROVAL BY PROJECT ENGINEER.
- NAIL ROOF PLYWOOD TO ENTIRE DRAG TRUSS TOP CHORD @ 12d @ 6" O.C. UNO. HANGERS SHOWN AT TRUSSES ARE TYPICAL. HANGERS SPECIFIED ON THE STAMPED TRUSS CALCULATIONS SUPERCEDE THOSE SHOWN HERE.

NOTE: SEE TRUSS CALCULATIONS FOR TRUSS DESCRIPTIONS, BRACING REQUIREMENTS AND ADDITIONAL HARDWARE REQUIREMENTS FOR TRUSS TO TRUSS CONNECTIONS.

FILL SECTIONS:
RIDGE _____ 2 x 8 DF #2 OR BETTER
RAFTERS _____ 2 x 6 DF #2
VALLEY KICKER _____ 2 x 8 DF

TOP PLATE SPLICE:
PROVIDE (1/2") 16d NAILS AT EACH TOP PLATE SPLICE (MIN. 48" OVERLAP @ EACH SPLICE)

WALL STUDS:
USE 2 x 6 DF #2 STUDS @ 16" O.C. TYPICAL UNO.
USE DLB 2 x 6 DF #2 STUDS @ 16" O.C. WHEN STUD HT. EXCEEDS 13'-0" TYP. UNO.
NAIL MULTIPLE STUDS TOGETHER @ 10d @ 6" O.C. STAGGERED, EACH FACE TYP. UNO.

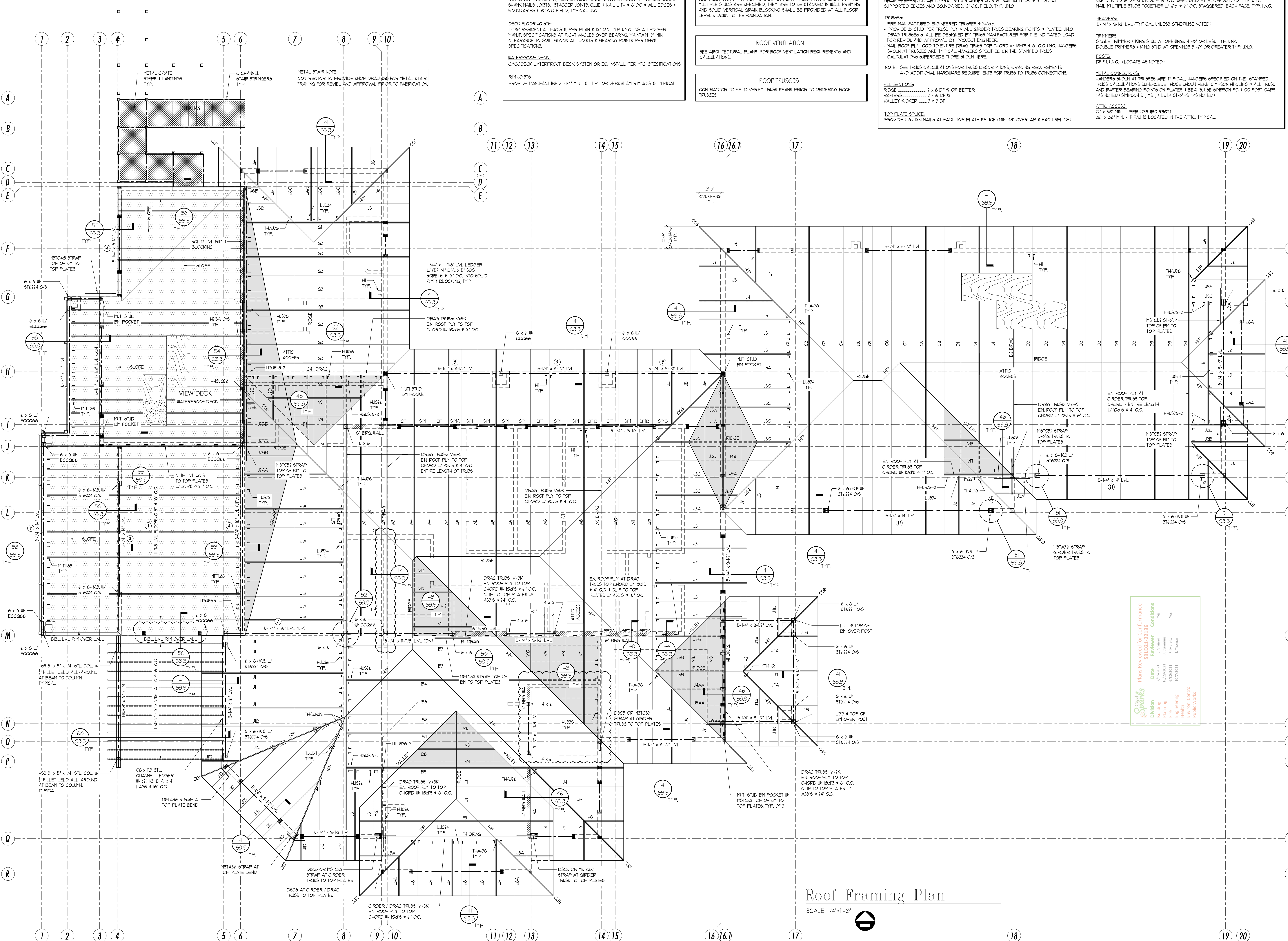
HEADERS:
5-1/4" x 9-1/2" LVL (TYPICAL UNLESS OTHERWISE NOTED)

TRIMMERS:
SINGLE TRIMMER 4 KING STUD AT OPENINGS 4'-0" OR LESS TYP. UNO.
DOUBLE TRIMMERS 4 KING STUD AT OPENINGS 5'-0" OR GREATER TYP. UNO.

POSTS:
DF #1 UNO. (LOCATE AS NOTED)

METAL CONNECTORS:
HANGERS SHOWN AT TRUSSES ARE TYPICAL. HANGERS SPECIFIED ON THE STAMPED TRUSS CALCULATIONS SUPERCEDE THOSE SHOWN HERE. SIMPSON HI CLIPS @ ALL TRUSS AND RAFTER BEARING POINTS ON PLATES & BEARS. USE SIMPSON FC 4 CC POST CAPS (AS NOTED) SIMPSON ST, M8T, 4 L8TA STRAPS (AS NOTED).

ATTIC ACCESS:
22" x 30" MIN. - PER 2018 IRC R801.1
30" x 30" MIN. - IF FAU IS LOCATED IN THE ATTIC, TYPICAL.

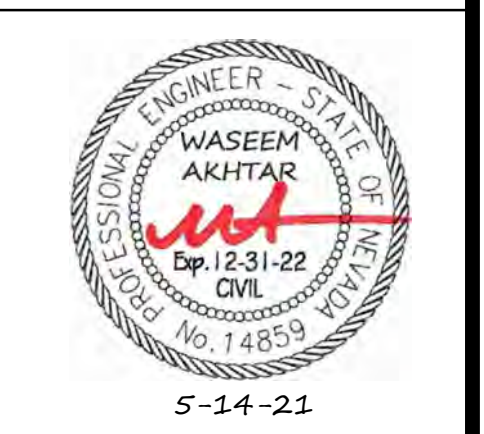


Roof Framing Plan

SCALE: 1/4"=1'-0"

REVISIONS	DATE

2135 GREEN VISTA DRIVE, SUITE#107
SPARKS, NEVADA 89431
775-333-9211 (PHONE)
775-333-9211 (FAX)
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5-14-21

ROOF FRAMING PLAN
NEW SINGLE FAMILY CUSTOM RESIDENCE
5708 VISTA TERRACE LANE
LOT 1, VISTA RIDGE SUBD. UNIT 6
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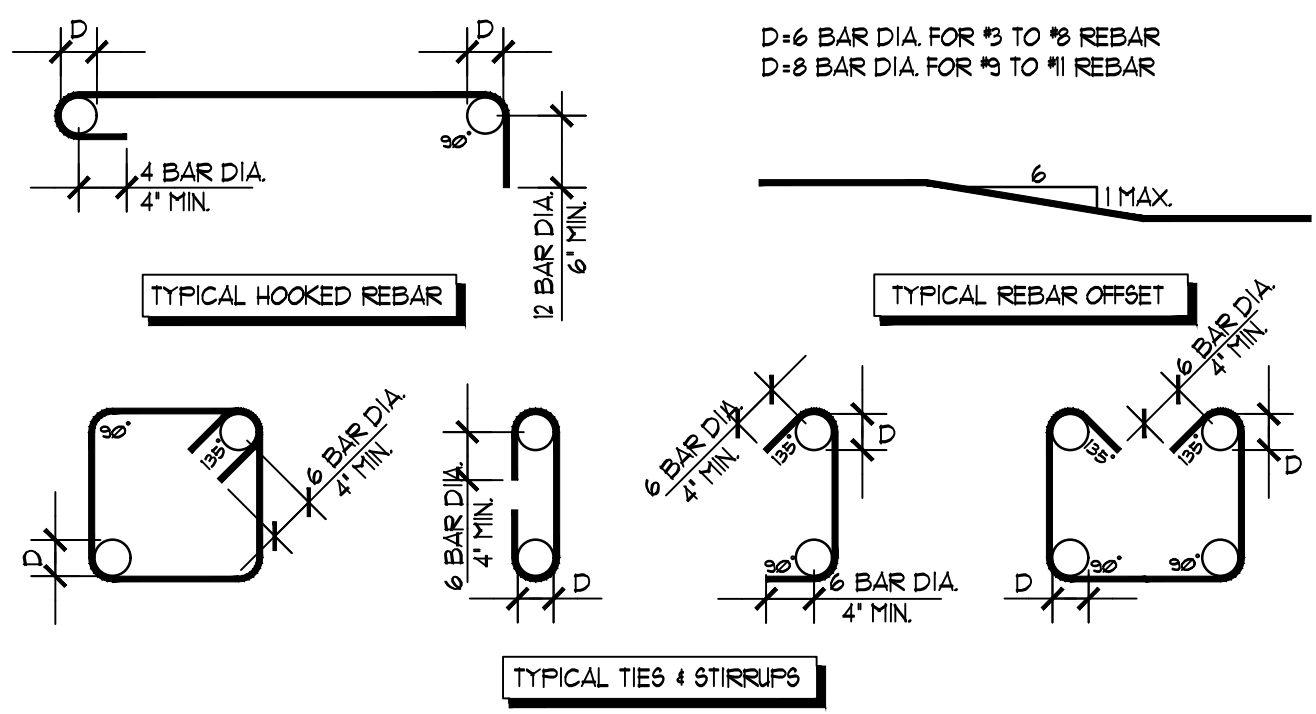
Plans Reviewed for Compliance	
Division	SRD21-24136
Date	05/14/2021
Reviewed	Yes
Conditions	Yes
Planning	J. Corrao
Permitting	E. Alvarez
Engineering	J. Thomas
Inspection Control	J. Thomas
Public Works	

DRAWN BY:
WJA
JOB #:
20-1449
DATE:
5-14-2021
SCALE:

FOR JURISDICTION

APPROVAL

S2.0

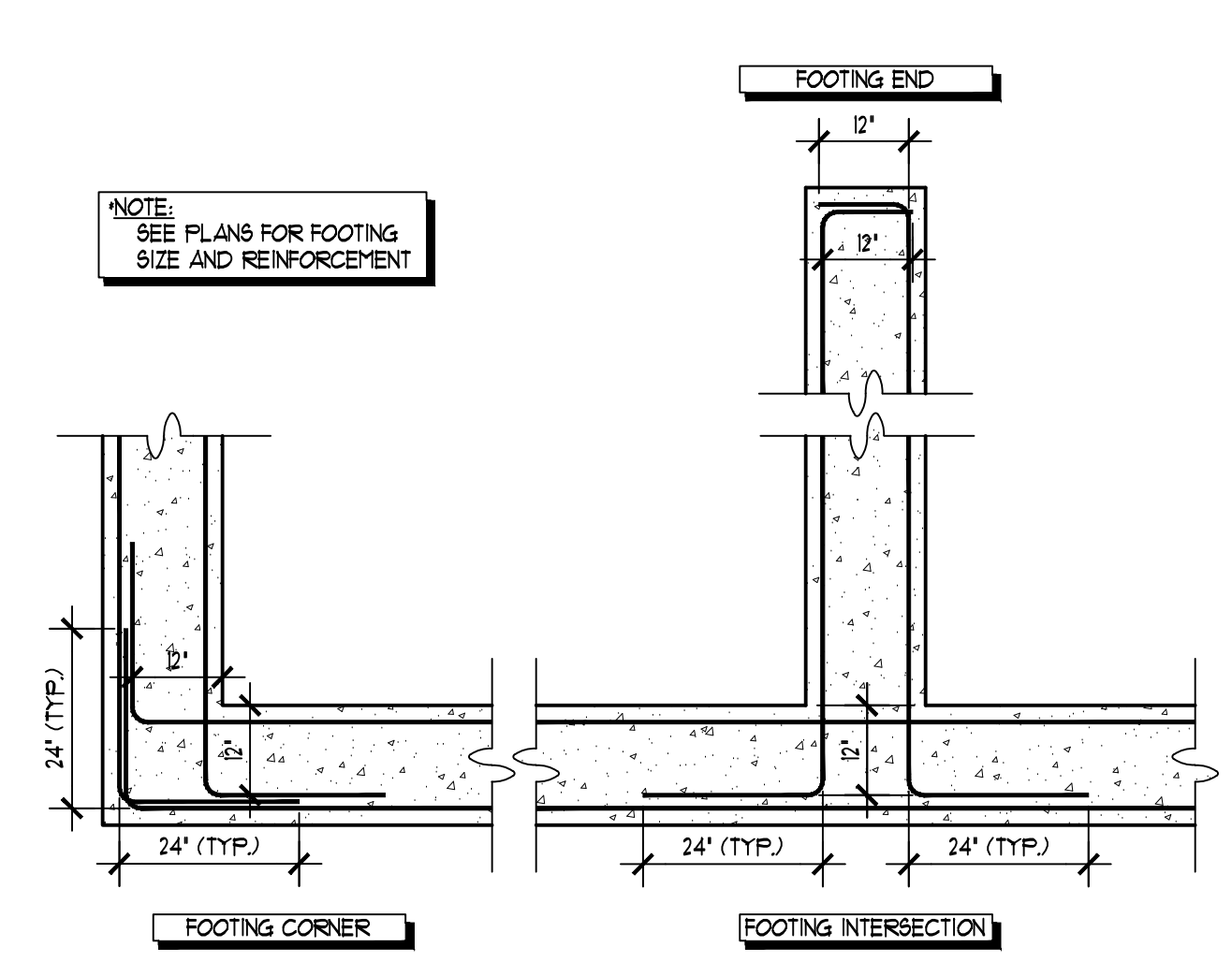


MINIMUM LAP LENGTHS & REBAR SPLICES (F_c = 3000 PSI MIN)

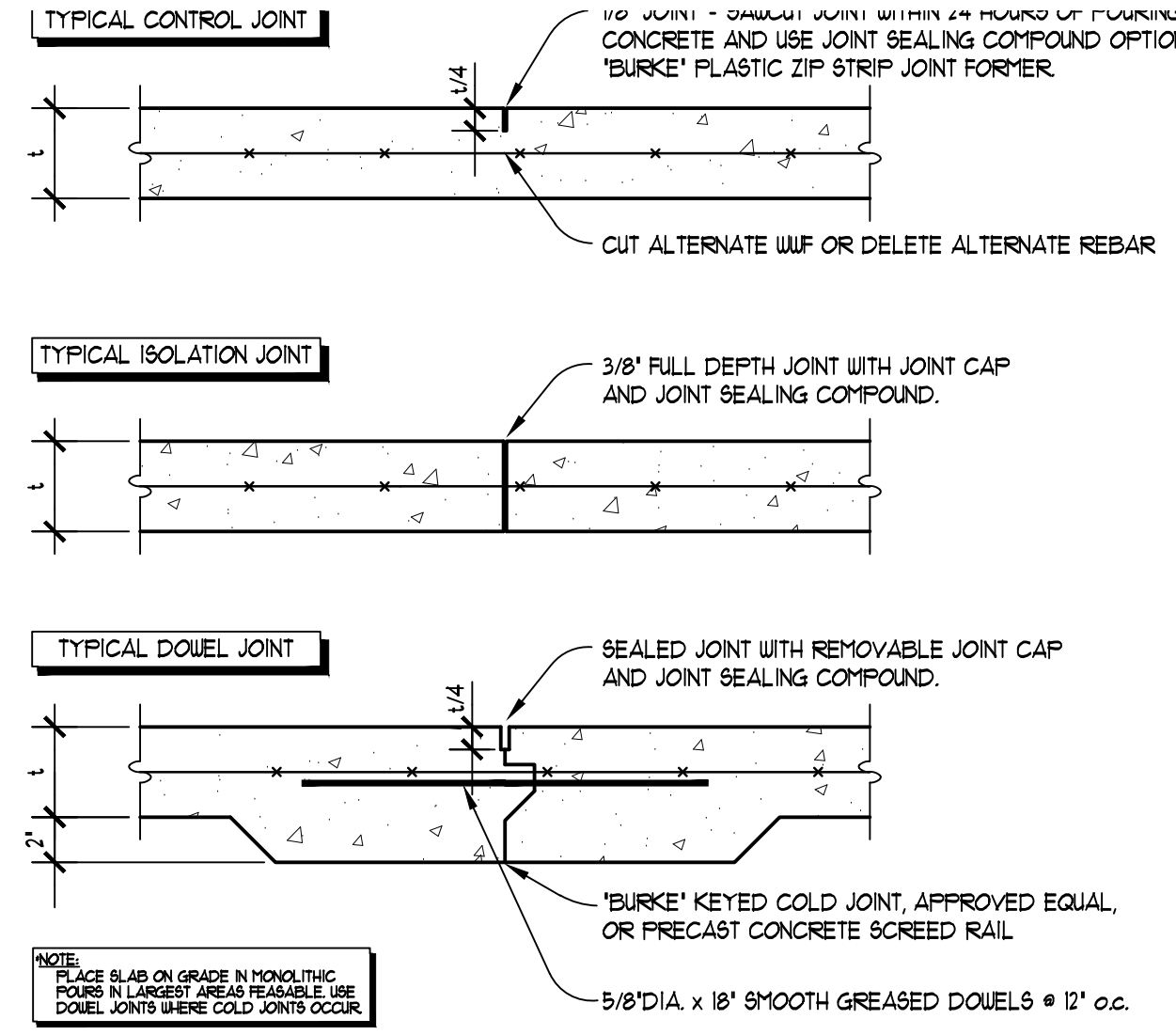
SIZE OF REINFORCEMENT CONCRETE	#3	#4	#5	#6	#8	#10	#11	#14	#18
CONCRETE	24"	30"	36"	42"	48"	54"	60"	72"	84"
CH-DOUBLE CURTAIN OF REINFORCEMENT (SEE NOTE 1)	24"	30"	36"	42"	48"	54"	60"	72"	84"
CH-SINGLE CURTAIN OF REINFORCEMENT (SEE NOTE 1)	24"	30"	36"	42"	48"	54"	60"	72"	84"
W/ SPLICE @ MIDHEIGHT OR SPAN	24"	30"	36"	42"	48"	54"	60"	72"	84"
CH-DOUBLE CURTAIN OF REINFORCEMENT (SEE NOTE 2)	24"	30"	36"	42"	48"	54"	60"	72"	84"
TYPICAL	24"	30"	36"	42"	48"	54"	60"	72"	84"
W/ SPLICE @ MIDHEIGHT OR SPAN	24"	30"	36"	42"	48"	54"	60"	72"	84"

NOTE: 1. USE FOR SINGLE CURTAIN OR DBL. CURTAIN REINFORCEMENT WITH SPLICES STAGGERED 24".
NOTE: 2. USE FOR (1) OR MORE BARS SPACED 3" OR CLOSER TOGETHER. IF SPLICES ARE STAGGERED USE SINGLE CURTAIN LAP LENGTHS.

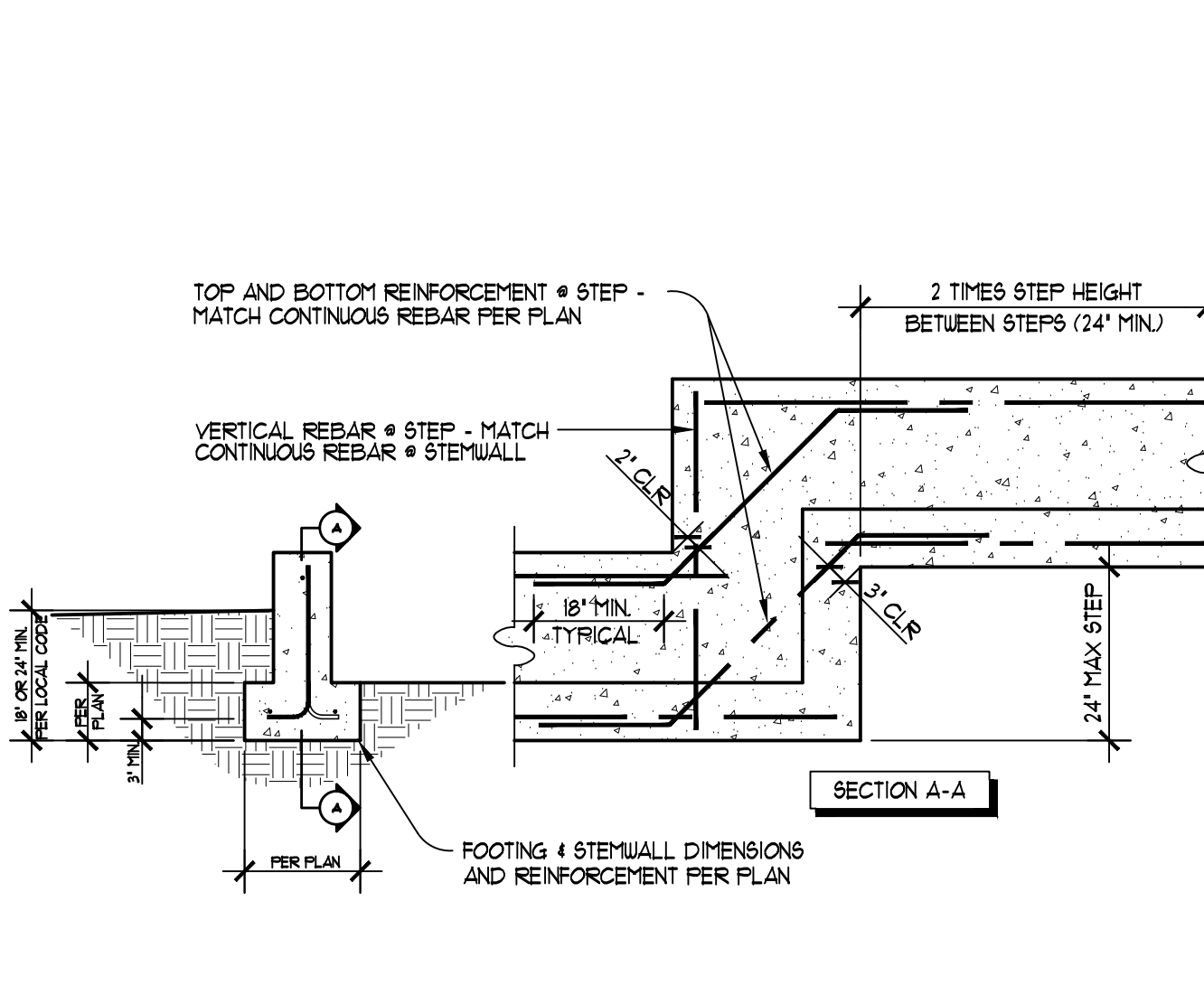
1 REBAR CONFIGURATION AND LAPS
STD-001 SCALE: 1/4" = 1'-0"



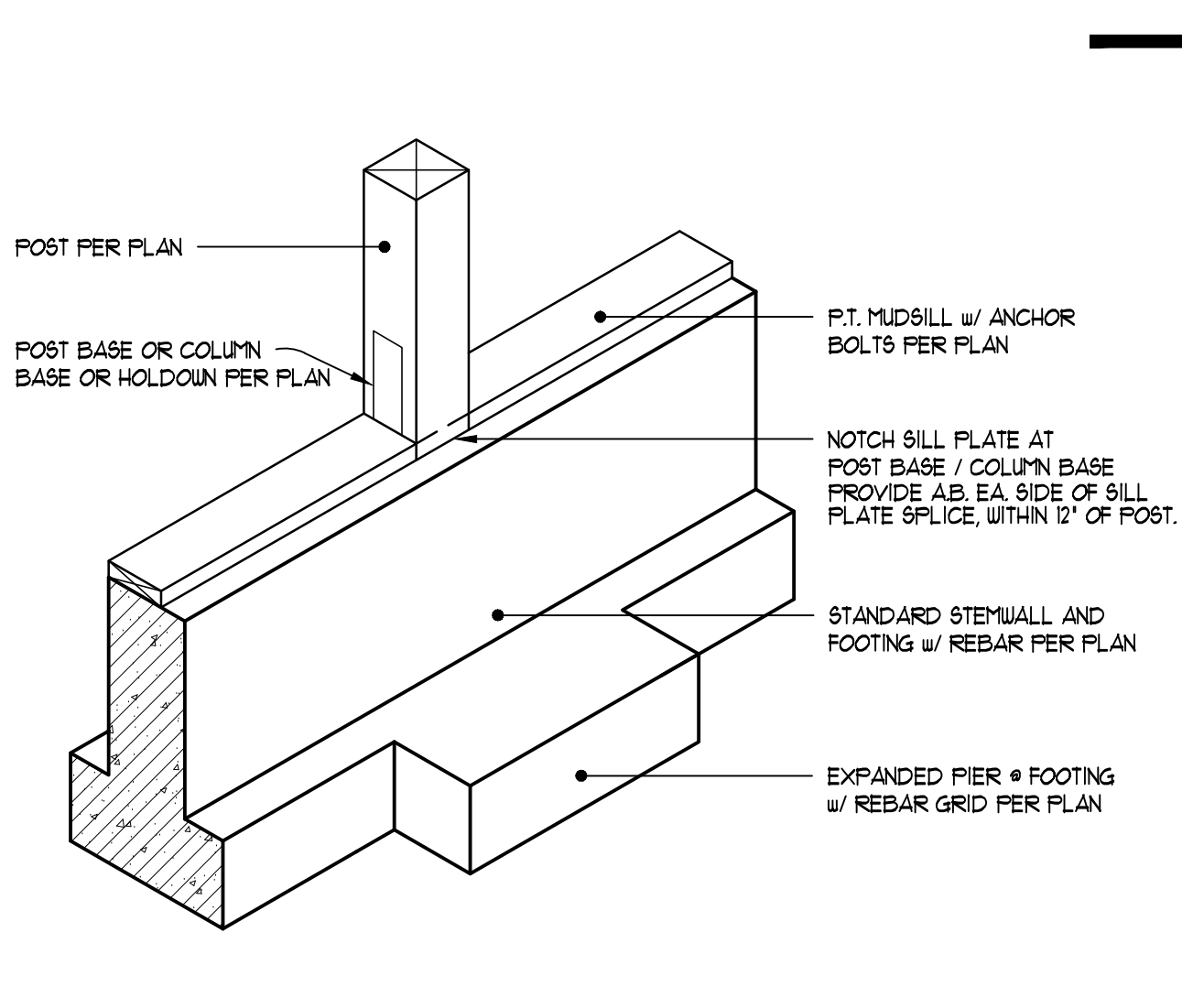
2 TYPICAL REINFORCEMENT LAPS IN CONCRETE FOOTINGS
STD-002 SCALE: 1/2" = 1'-0"



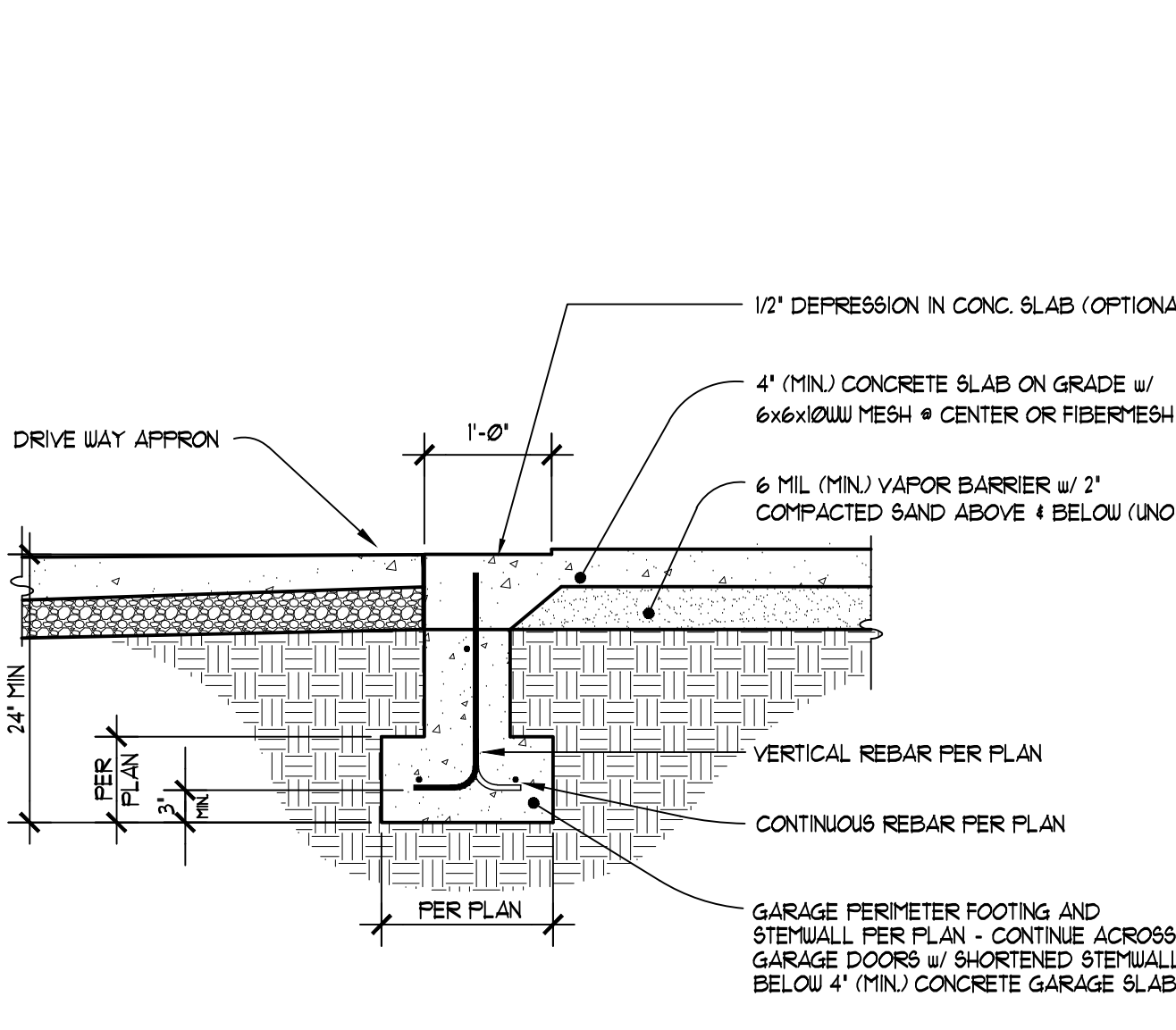
3 TYPICAL CONCRETE SLAB JOINTS
STD-003 SCALE: 1/4" = 1'-0"



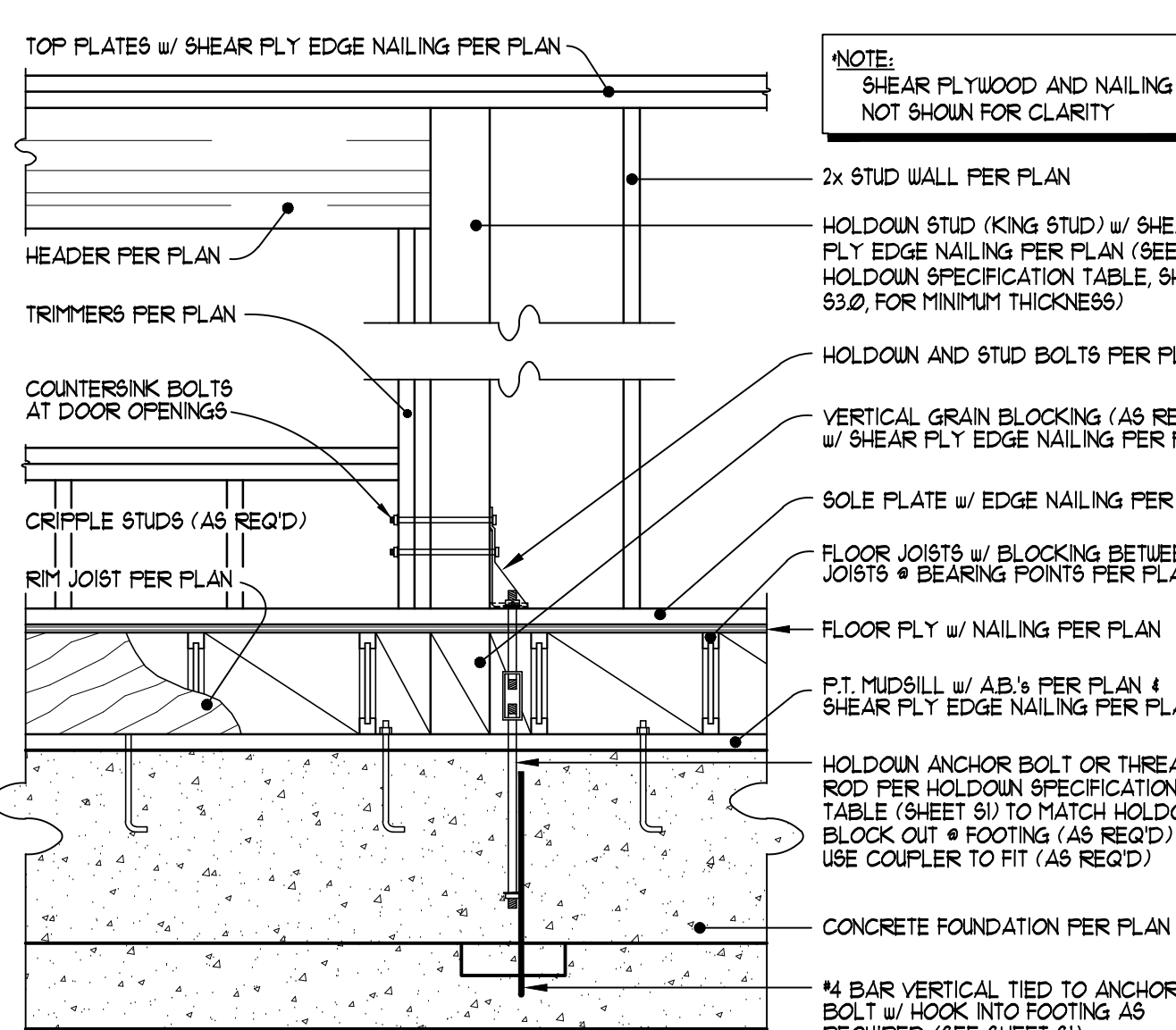
4 TYPICAL STEP @ CONCRETE FOOTING
STD-004 SCALE: 1/2" = 1'-0"



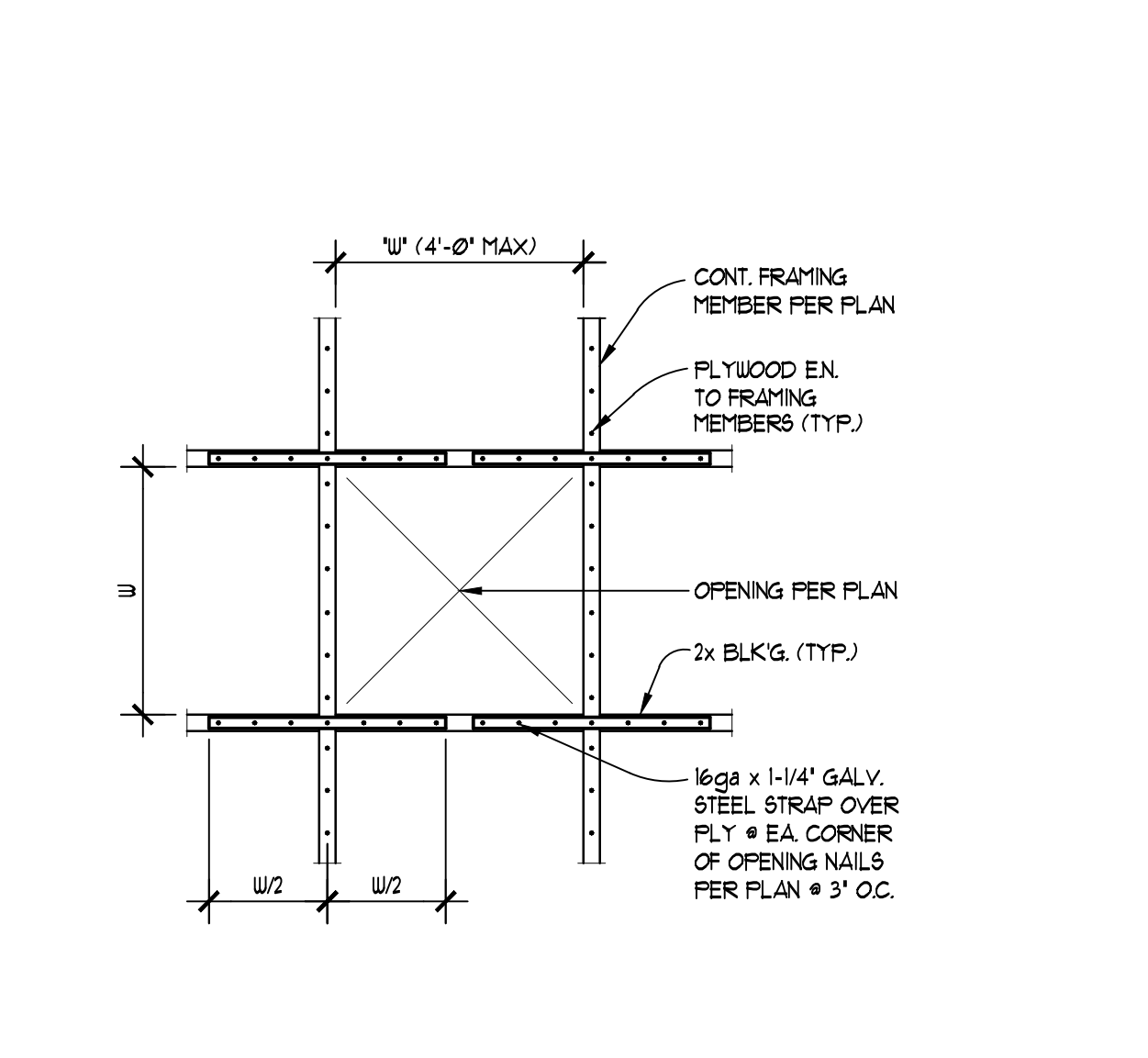
5 EXPANDED PIER @ FOOTING
STD-005 SCALE: 3/4" = 1'-0"



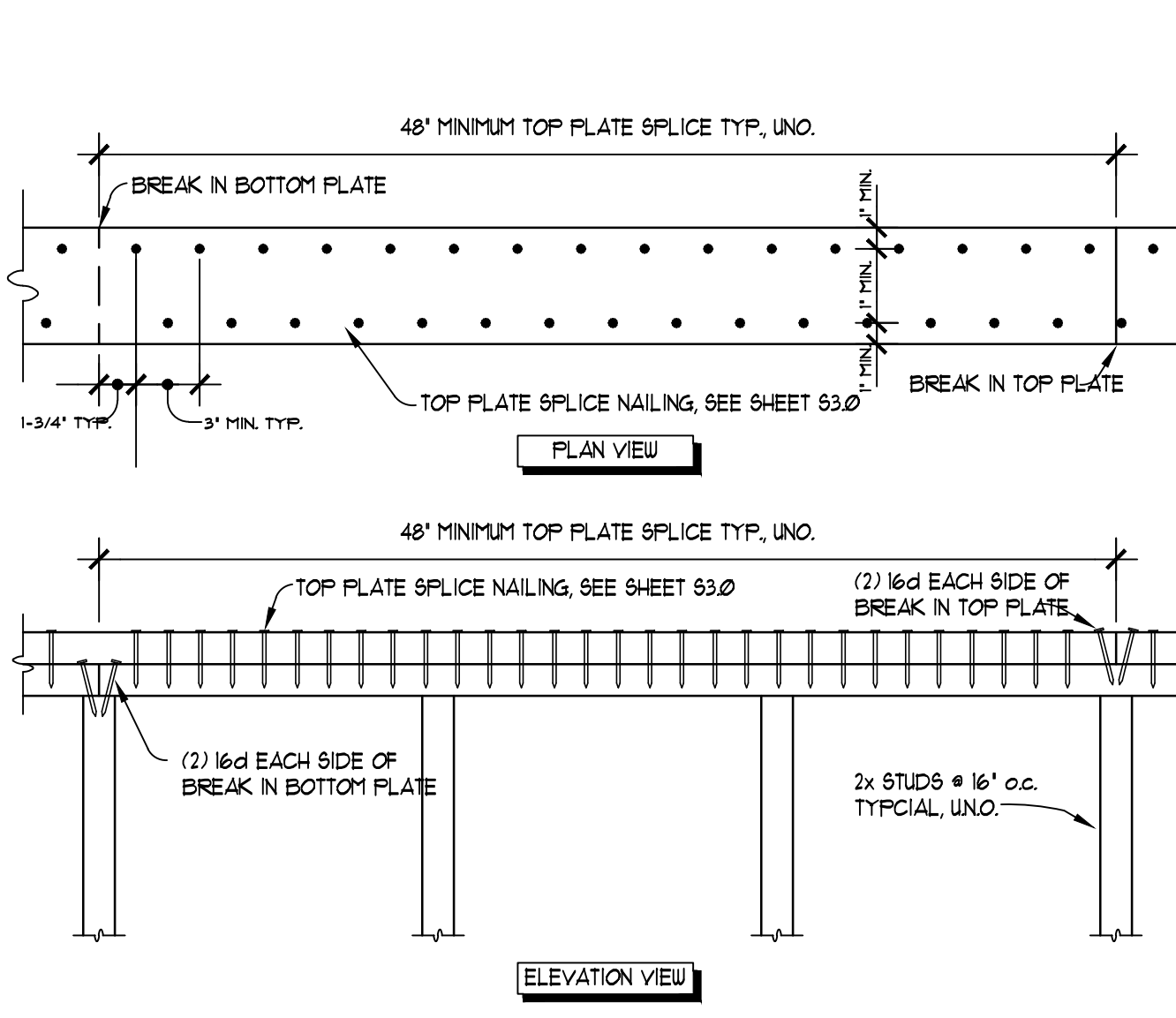
6 TYPICAL FOOTING @ GARAGE DOORS
STD-006 SCALE: 3/4" = 1'-0"



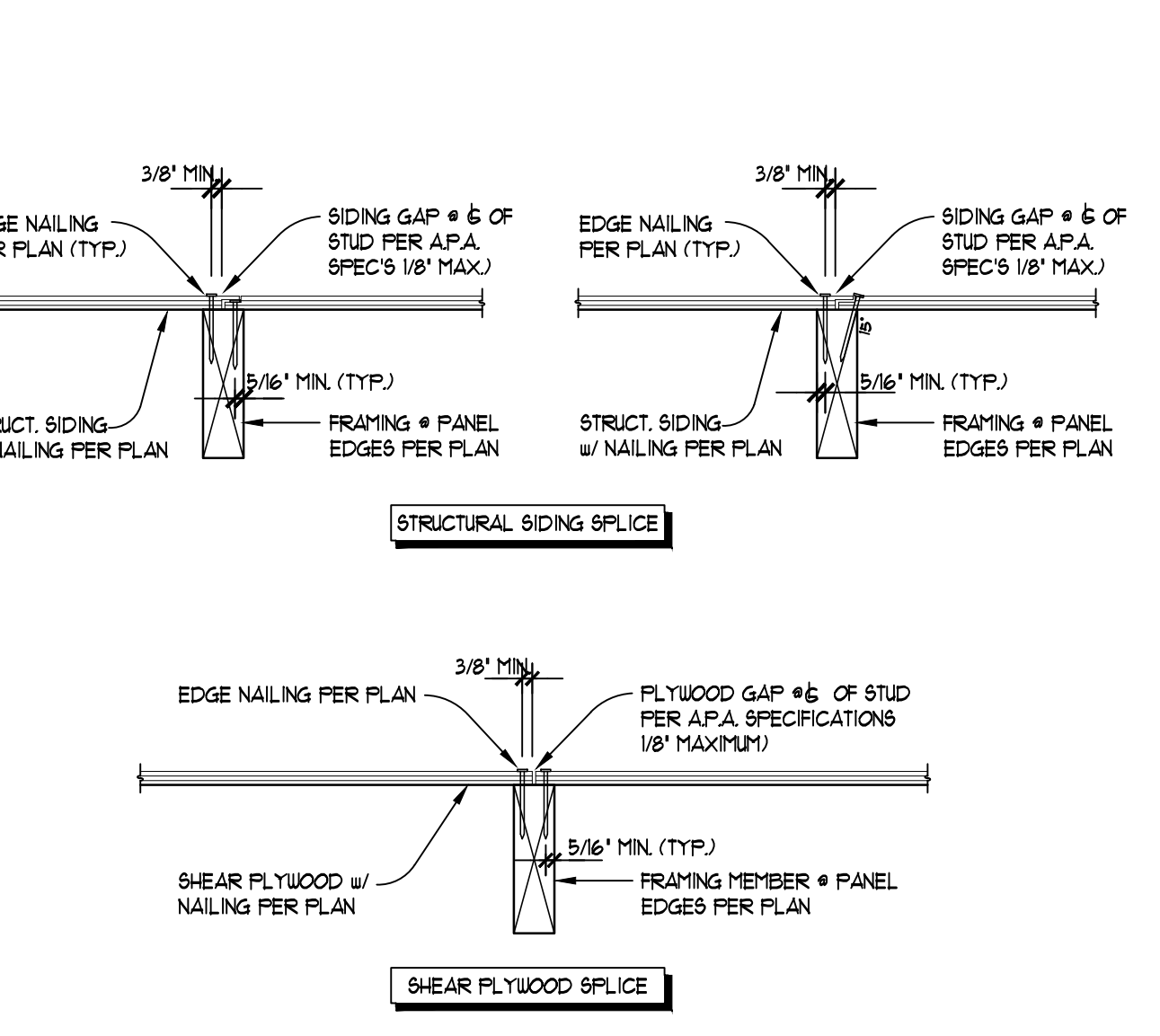
7 TYPICAL HOLDOWN @ WINDOW/DOOR
STD-007 SCALE: 3/4" = 1'-0"



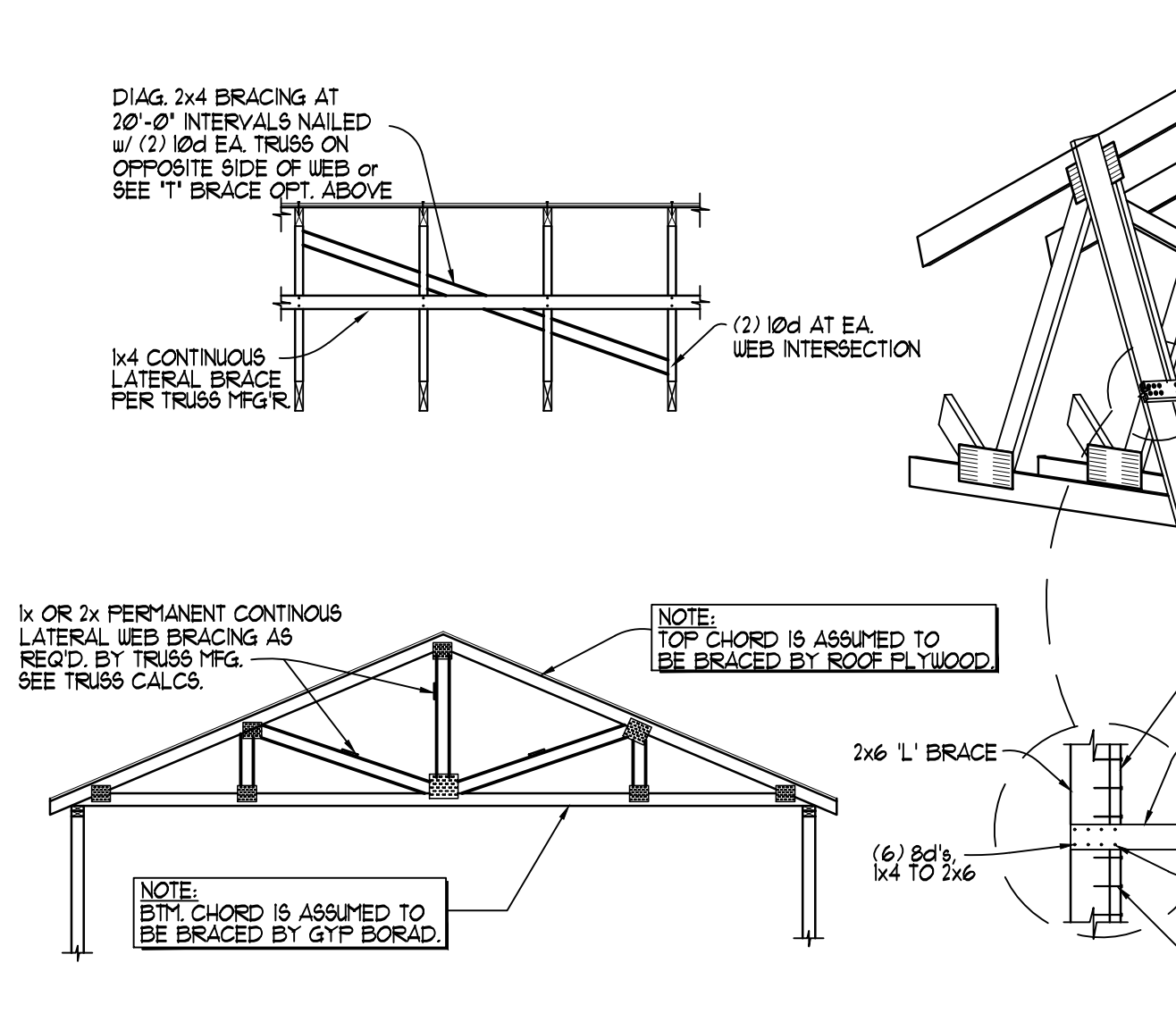
8 OPENING IN DIAPHRAGM
STD-009 SCALE: 3/4" = 1'-0"



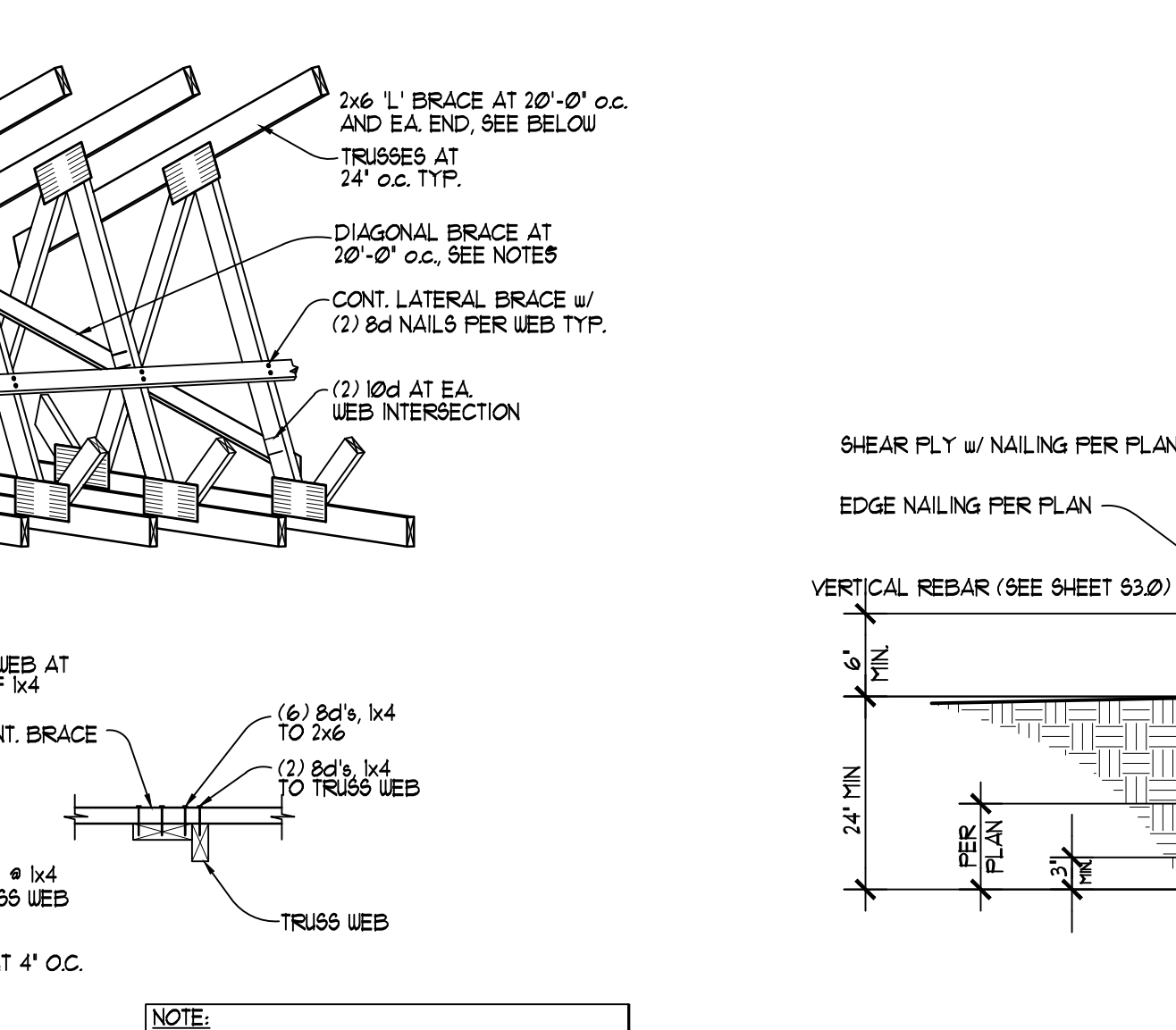
9 TYPICAL TOP PLATE SPLICE
STD-010 SCALE: 1/2" = 1'-0"



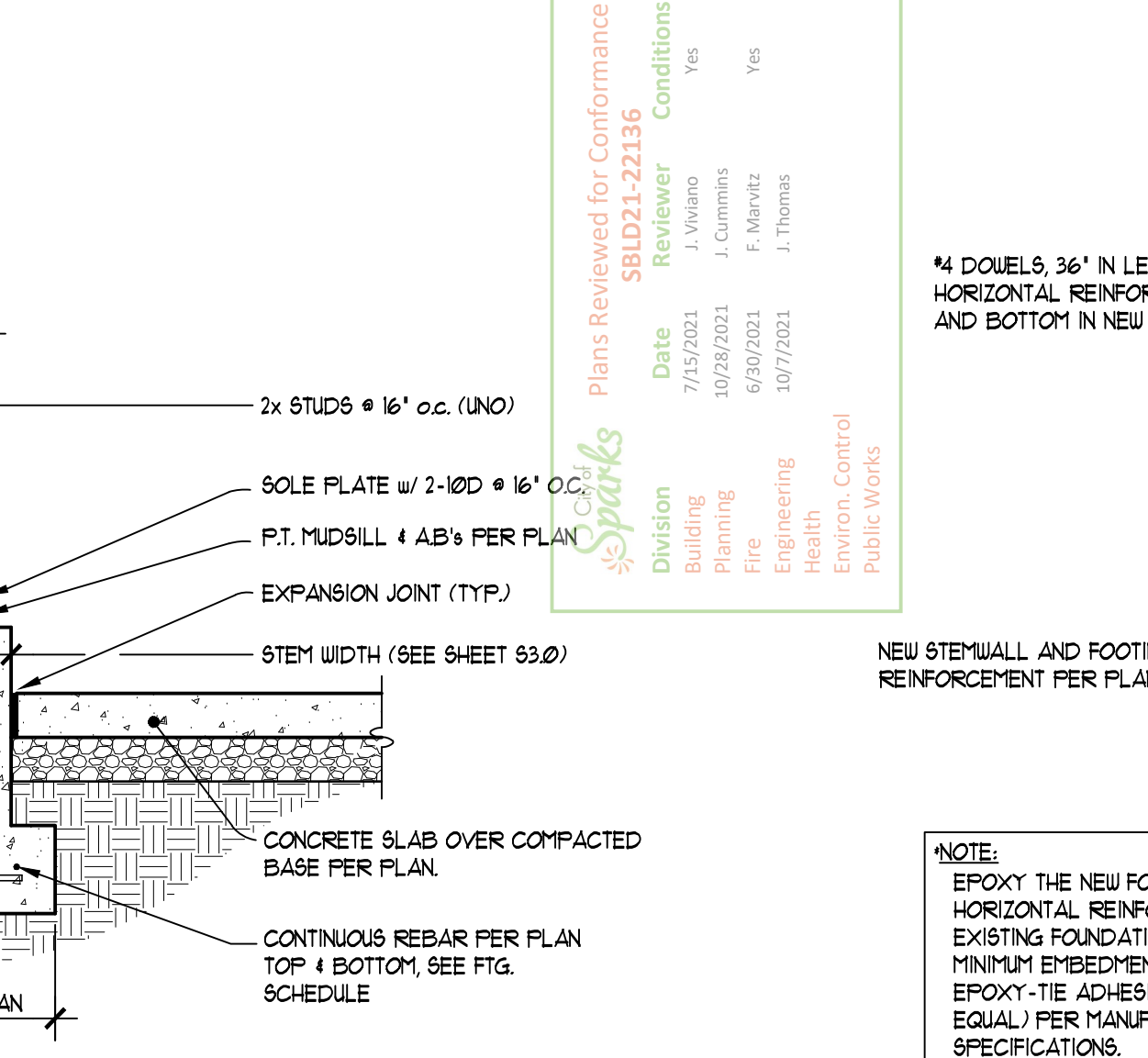
10 TYPICAL SPLICE @ SHEAR PANELS
STD-011 SCALE: 7/8" = 1'-0"



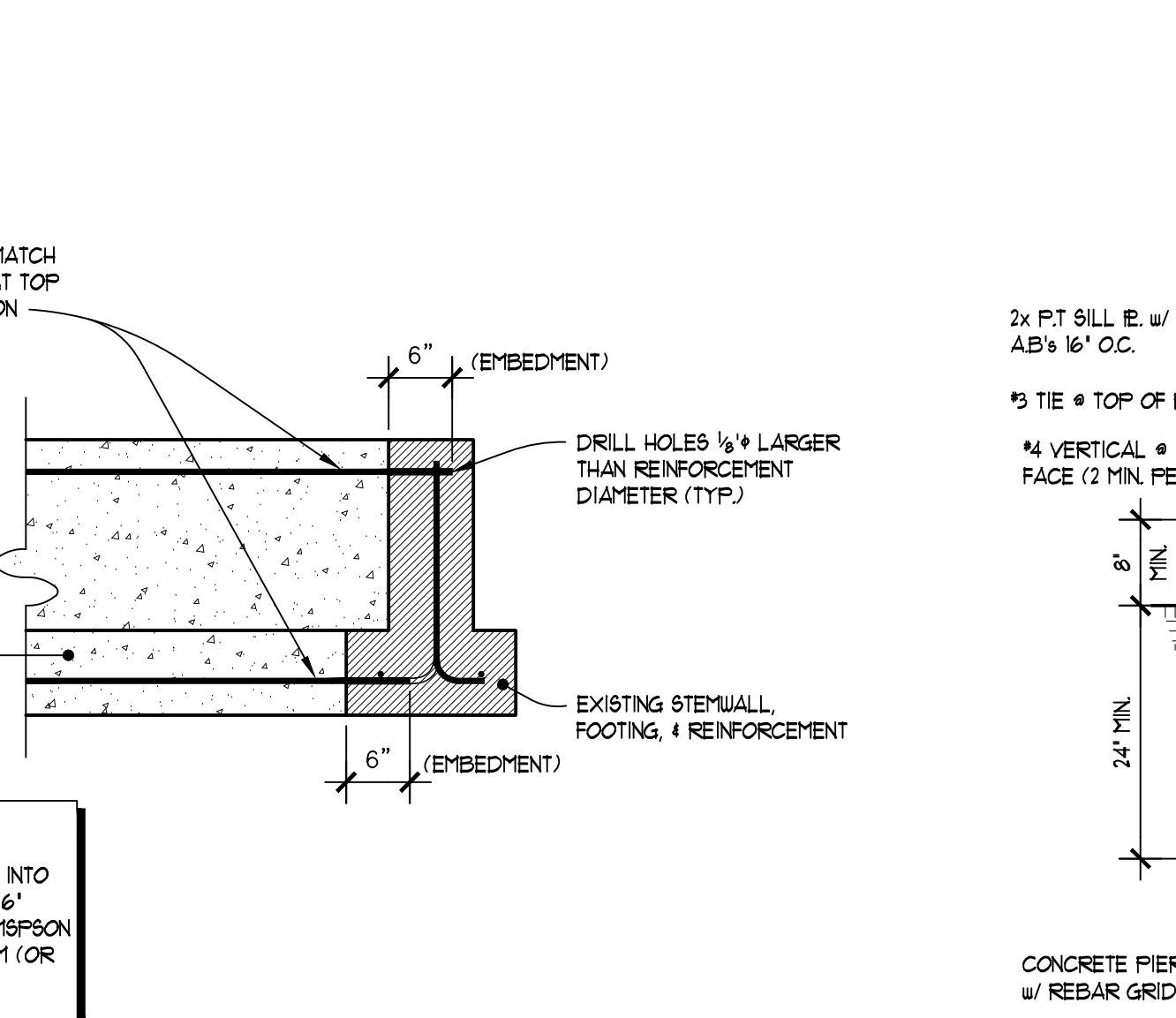
11 TYPICAL TRUSS BRACING
STD-015



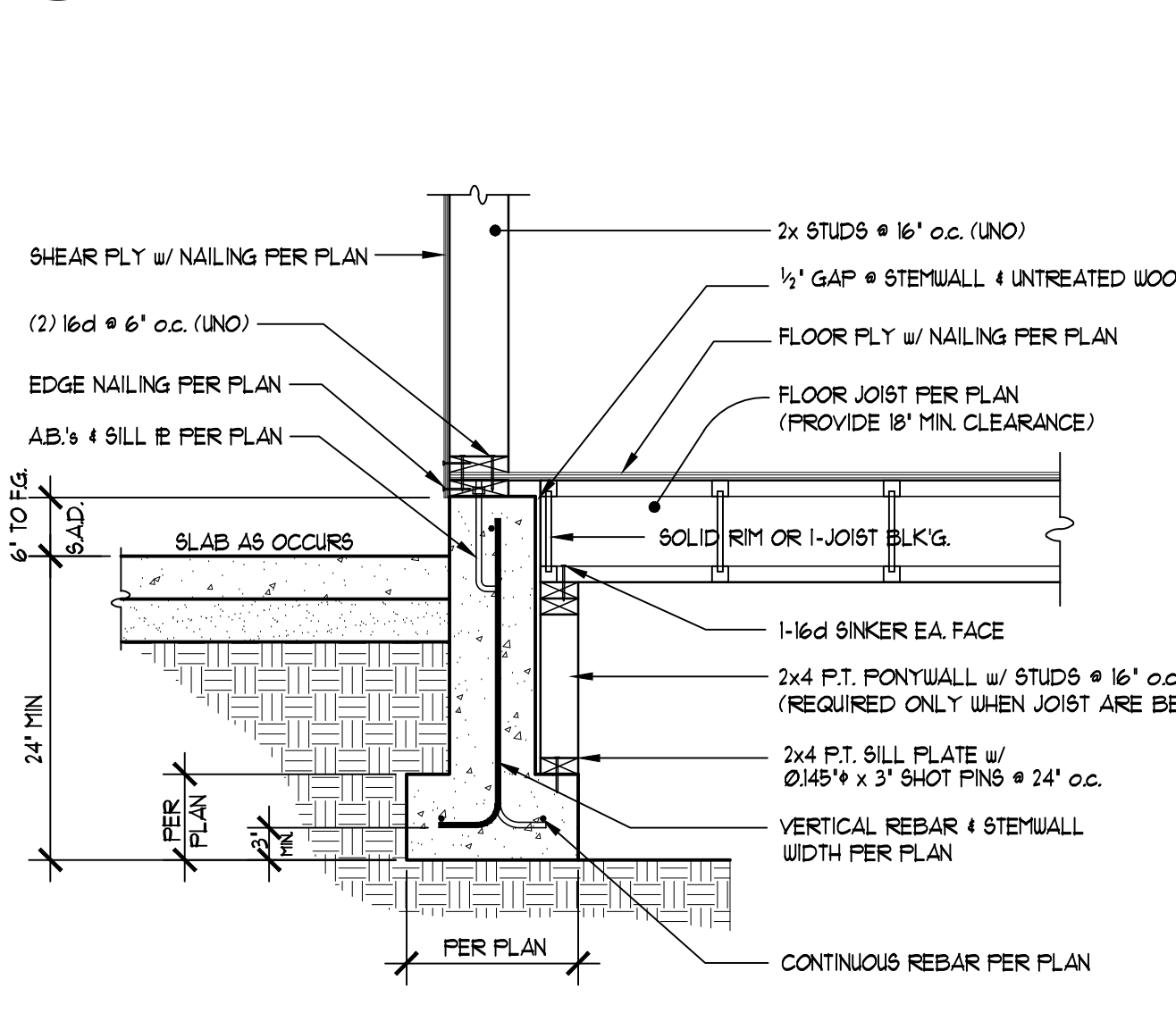
13 TYPICAL PERIMETER FOOTING @ SLAB
STD-005 SCALE: 3/4" = 1'-0"



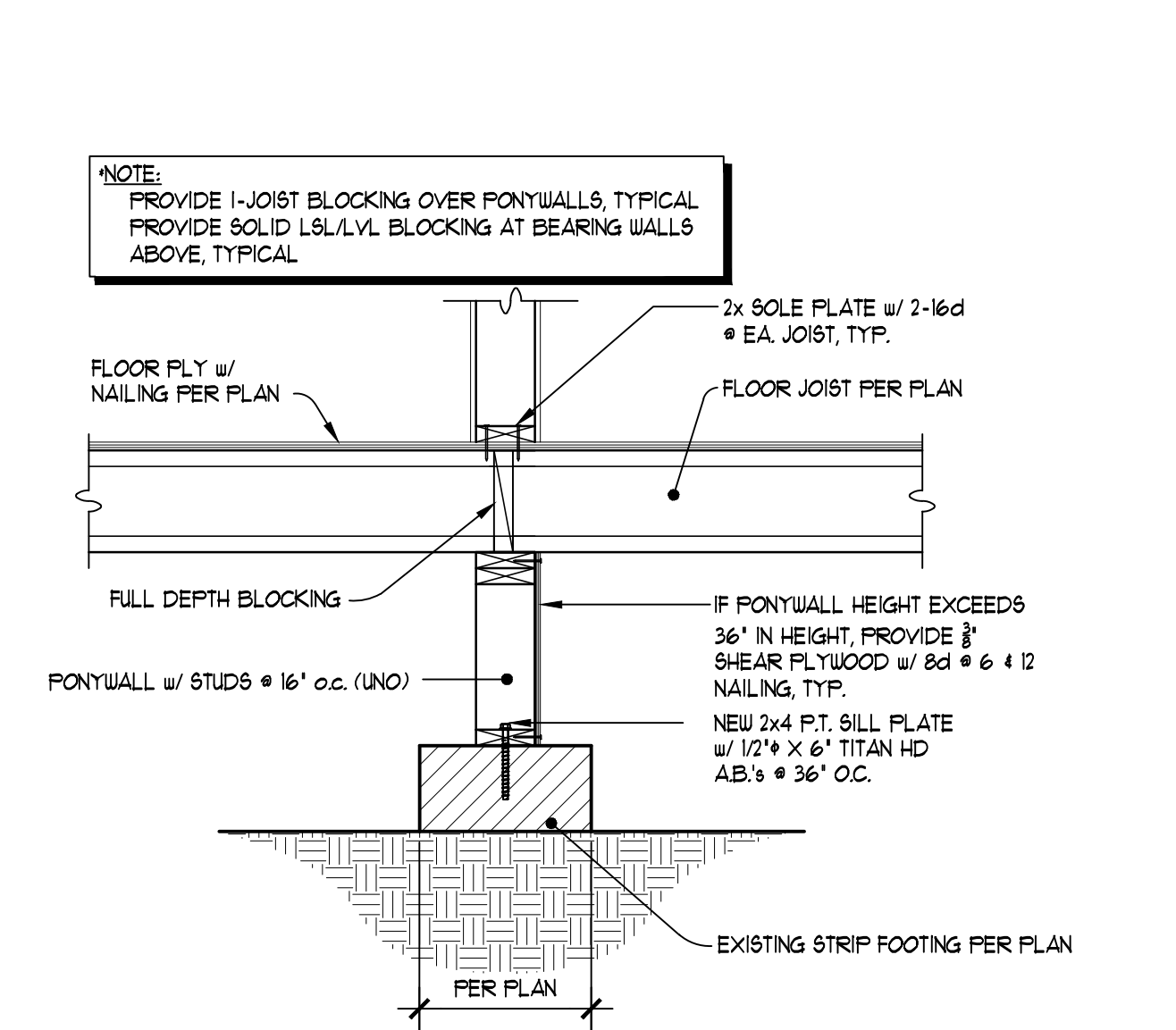
14 FOUNDATION DOWEL DETAIL
STD-005 SCALE: 3/4" = 1'-0"



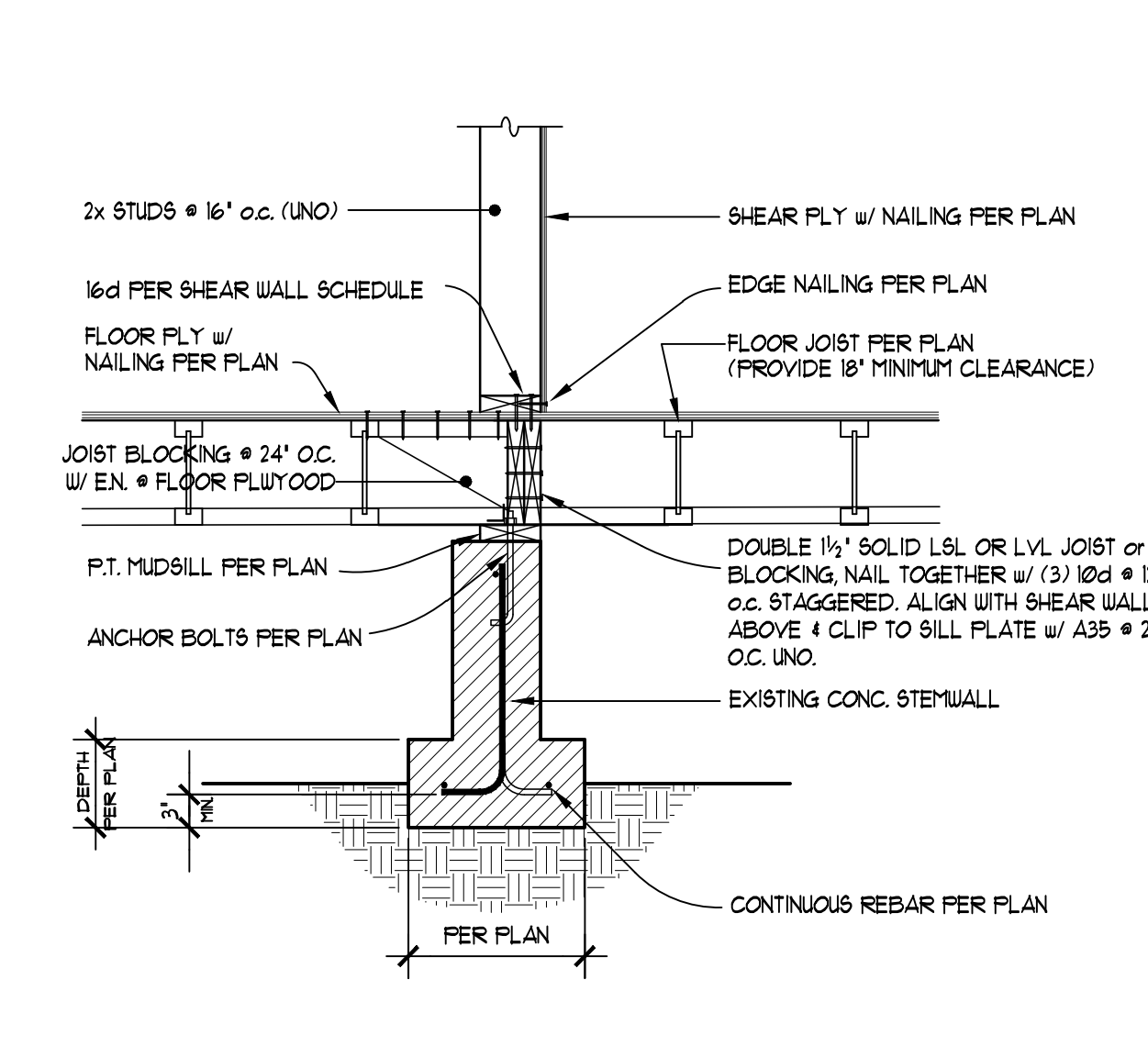
15 TYPICAL EXTERIOR BOX PIER
STD-006A SCALE: 3/4" = 1'-0"



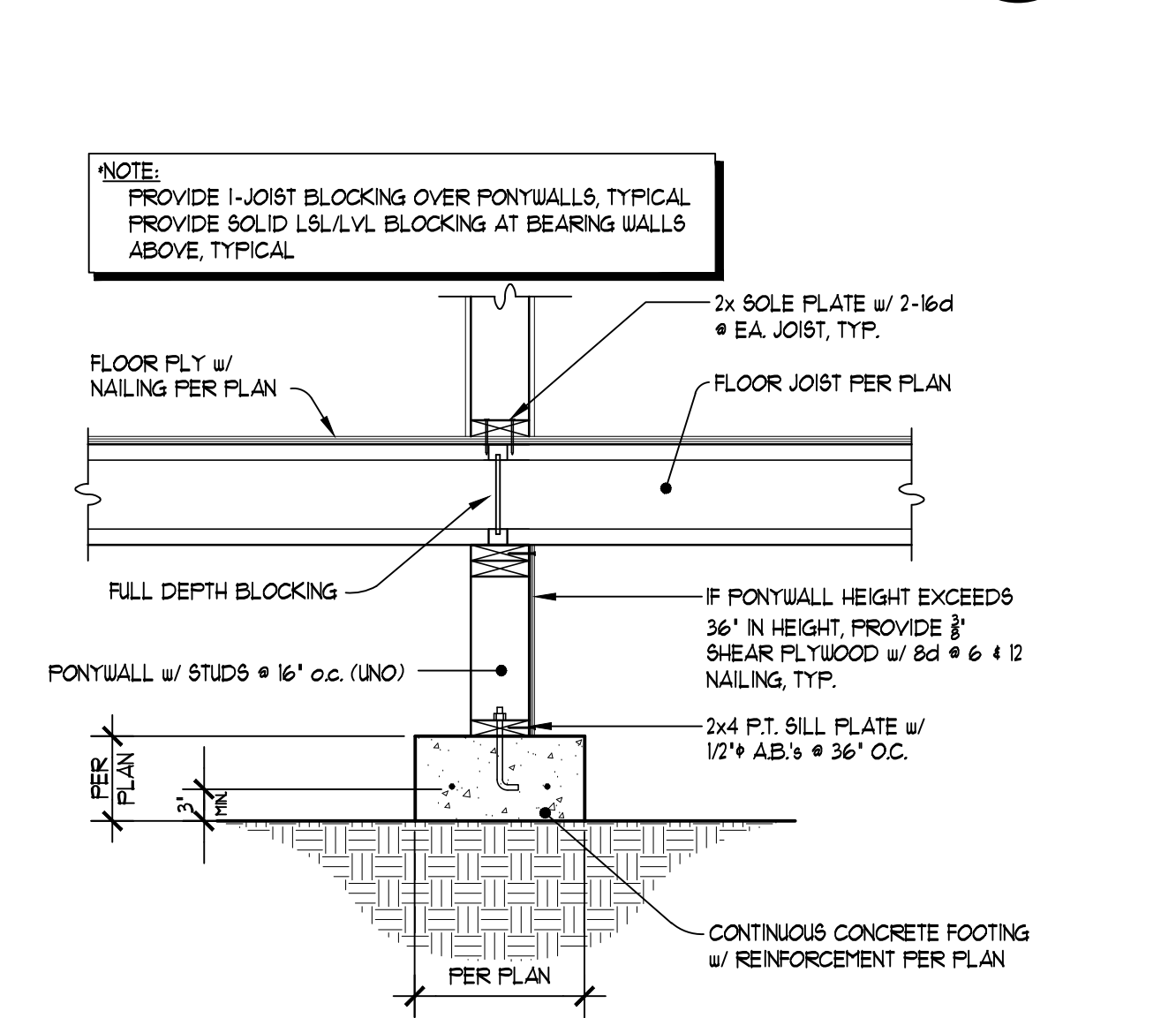
16 DROPPED FLOOR @ PERIMETER FTG.
STD-005D1 SCALE: 3/4" = 1'-0"



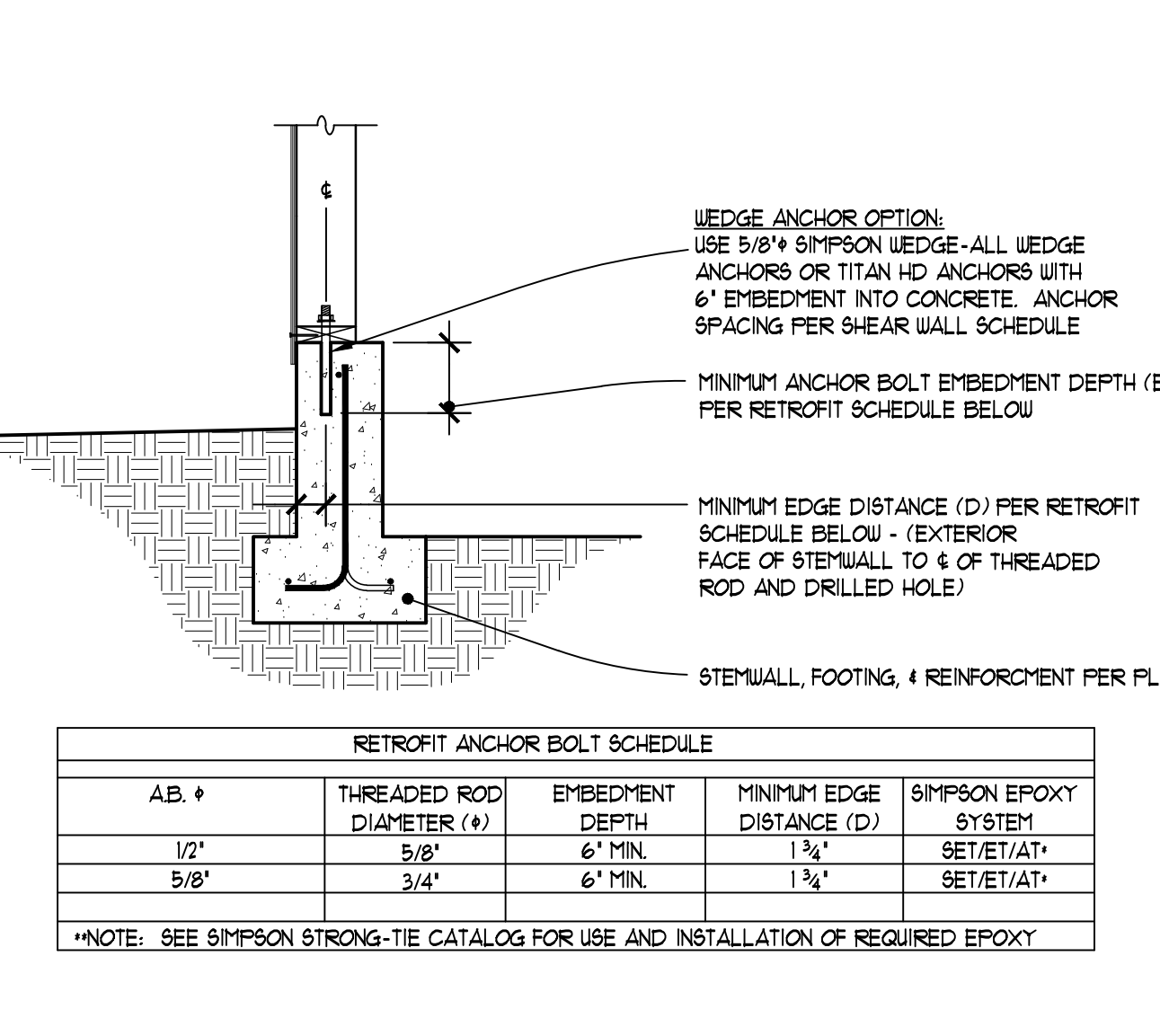
17 TYPICAL INTERIOR PONYWALL
STD-021 SCALE: 3/4" = 1'-0"



18 INTERIOR FOOTING @ SHEAR WALL
STD-141 SCALE: 3/4" = 1'-0"



19 TYPICAL INTERIOR PONYWALL
STD-021 SCALE: 3/4" = 1'-0"



20 ANCHOR BOLT RETROFIT
STD-008B SCALE: 3/4" = 1'-0"

REVISIONS DATE

2135 GREEN VISTA DRIVE, SUITE 107
SPARKS, NEVADA 89431
775-333-5211 (PHONE)
E-Mail: infinityeng@gmail.com

Infinity
ENGINEERING INC.

PROFESSIONAL ENGINEER
WASEEM AKHTAR
No. 14553
5-14-21

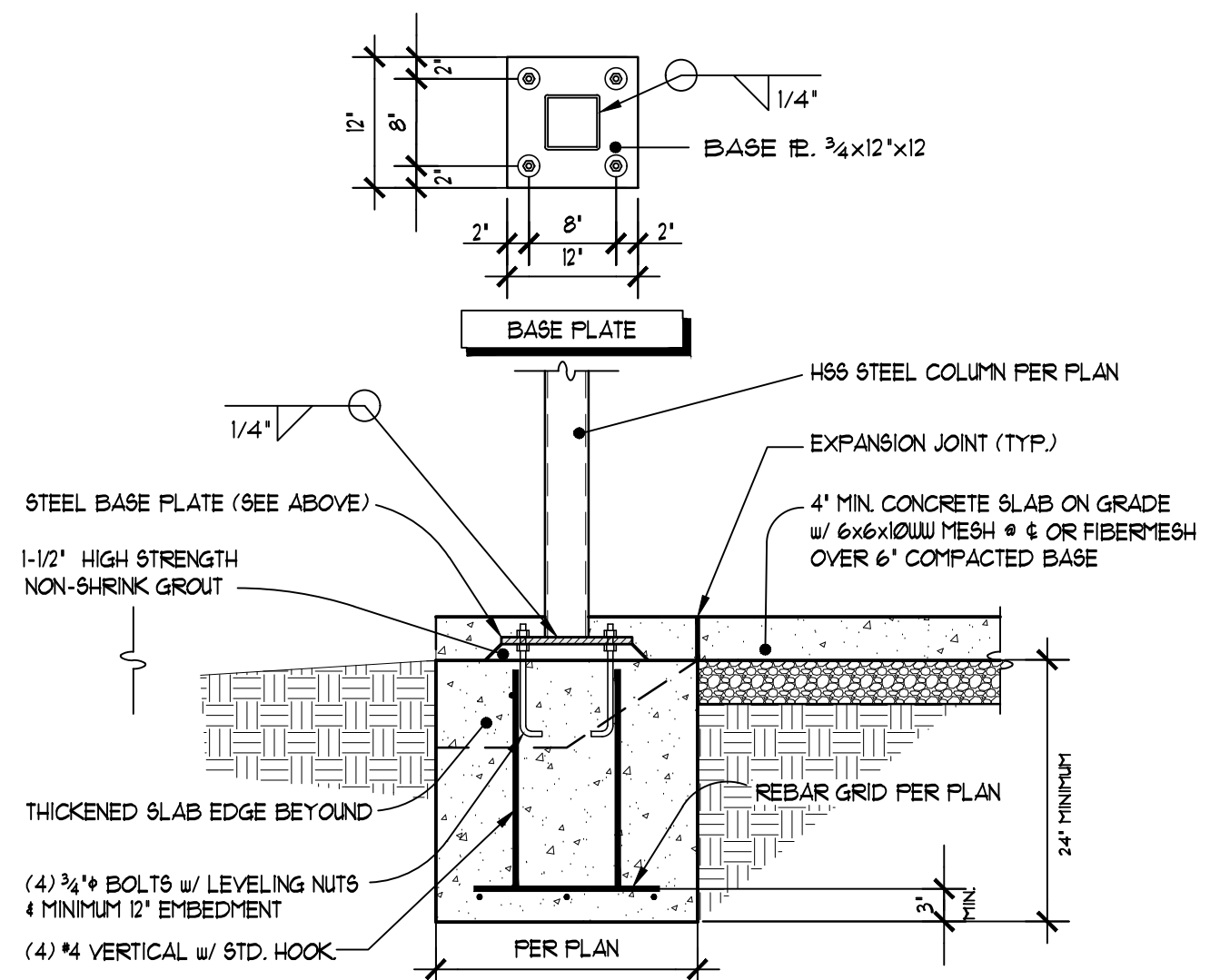
STRUCTURAL DETAILS

NEW SINGLE FAMILY CUSTOM RESIDENCE
5708 VISTA TERRACE LANE
LOT 1, VISTA RIDGE SUBD. UNIT 6
SPARKS, NV 89436
A.P.N. 518-692-01

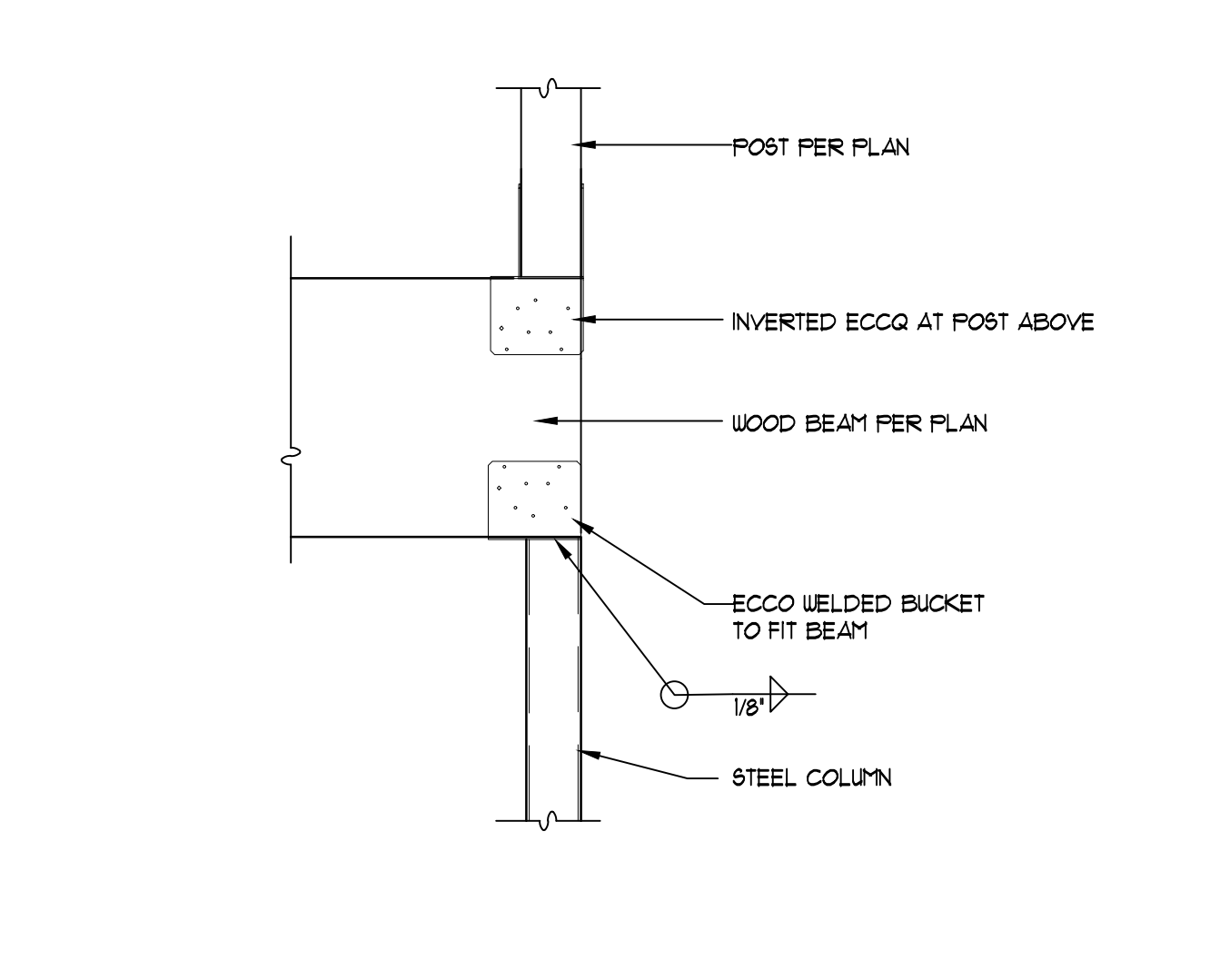
DRAWN BY:
WA
JOB #:
21-1449
DATE:
5-14-2021
SCALE:
FOR JURISDICTION

APPROVAL

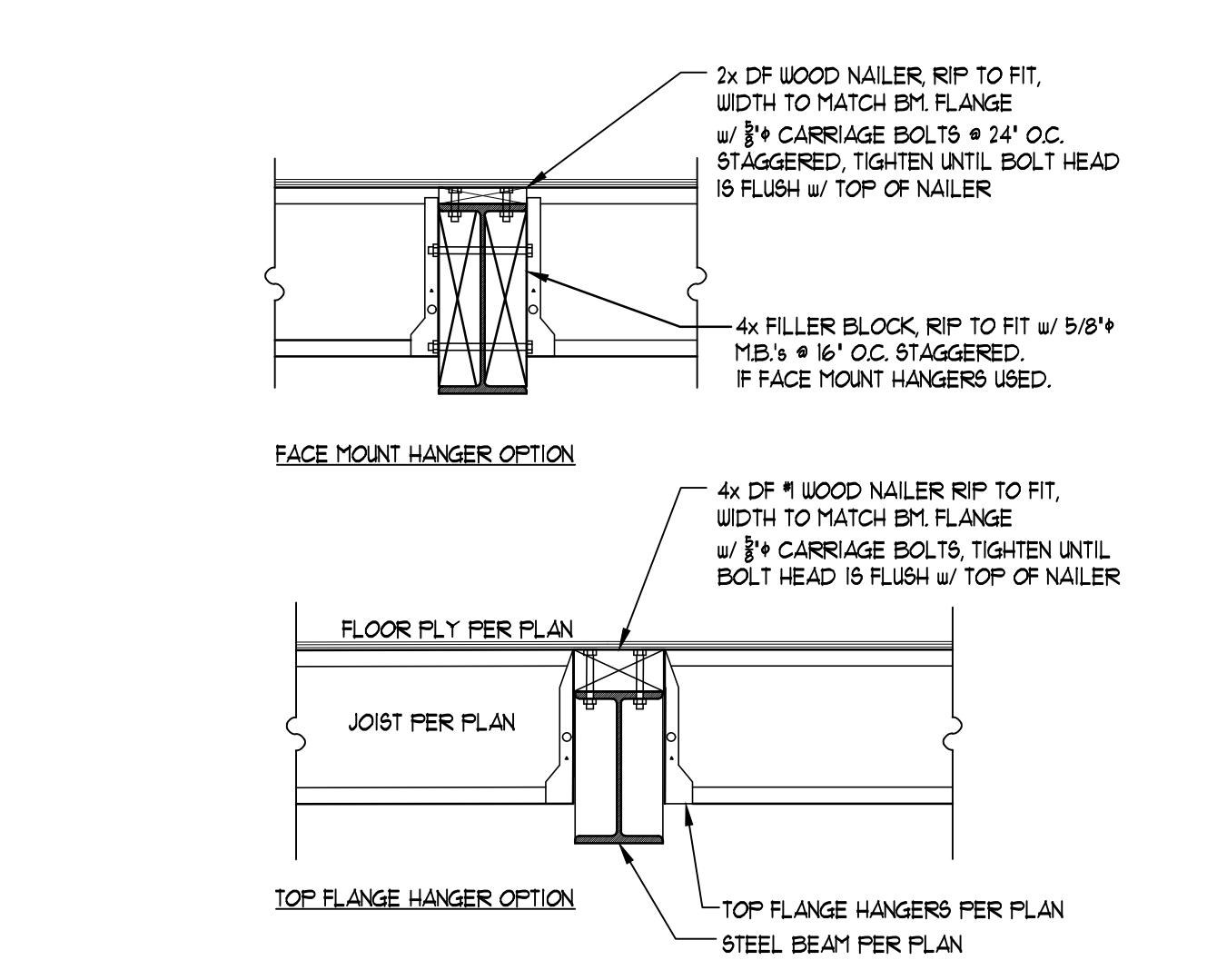
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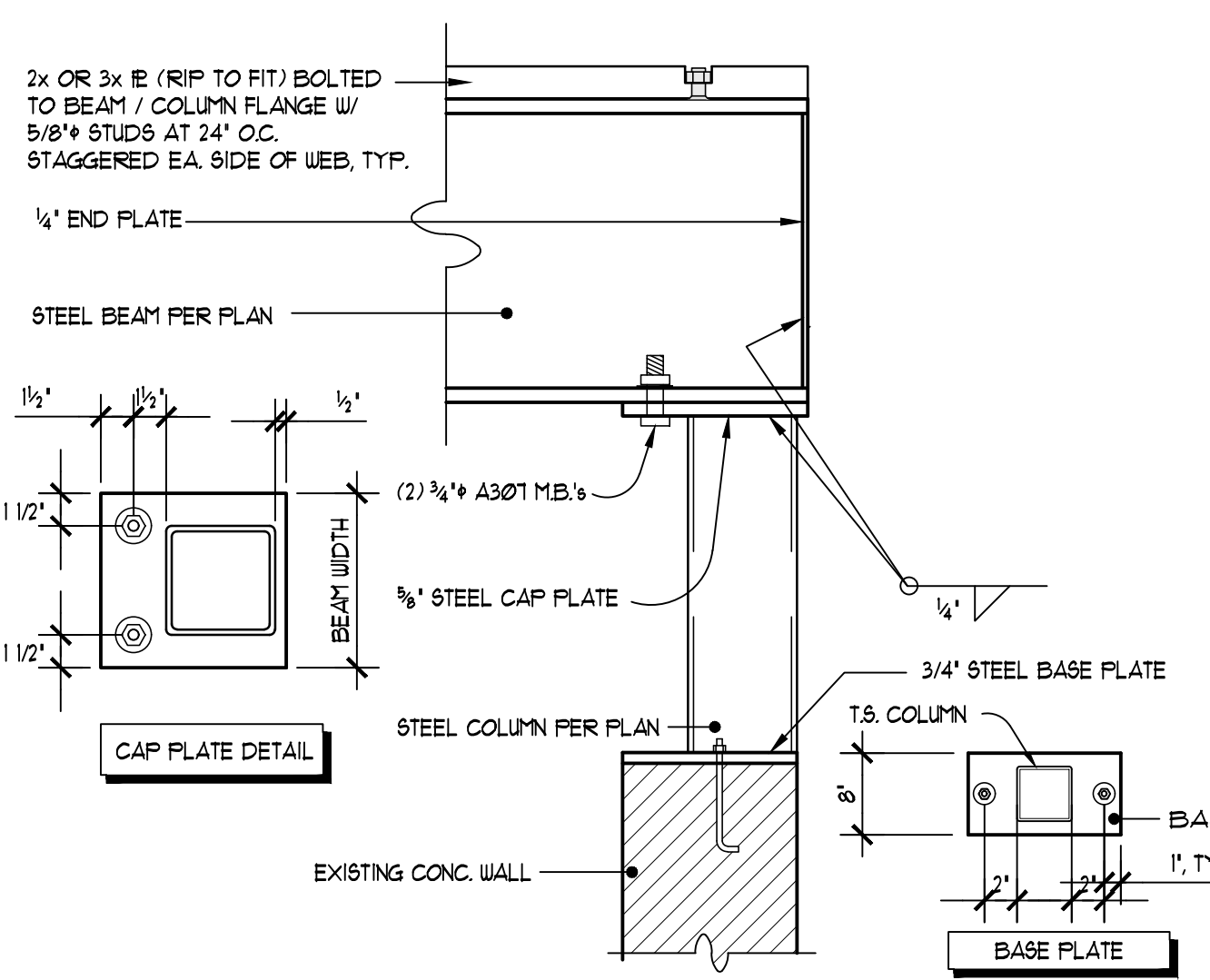
21 STEEL COLUMN & BASE PLATE @ PIER
5/00-0202 SCALE: 3/4" = 1'-0"



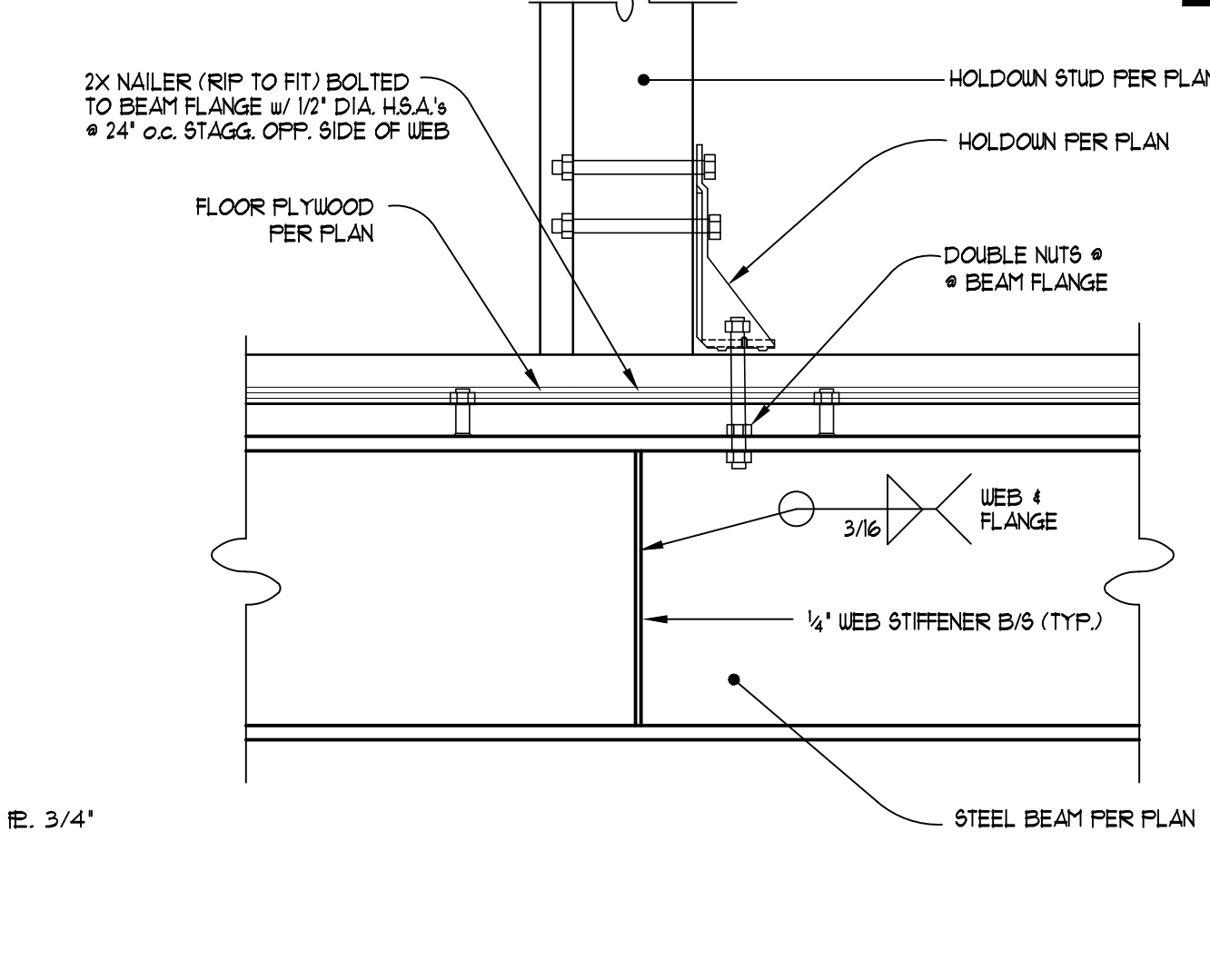
22 STEEL COL TO WOOD BEAM
5/00-0202 SCALE: 3/4" = 1'-0"



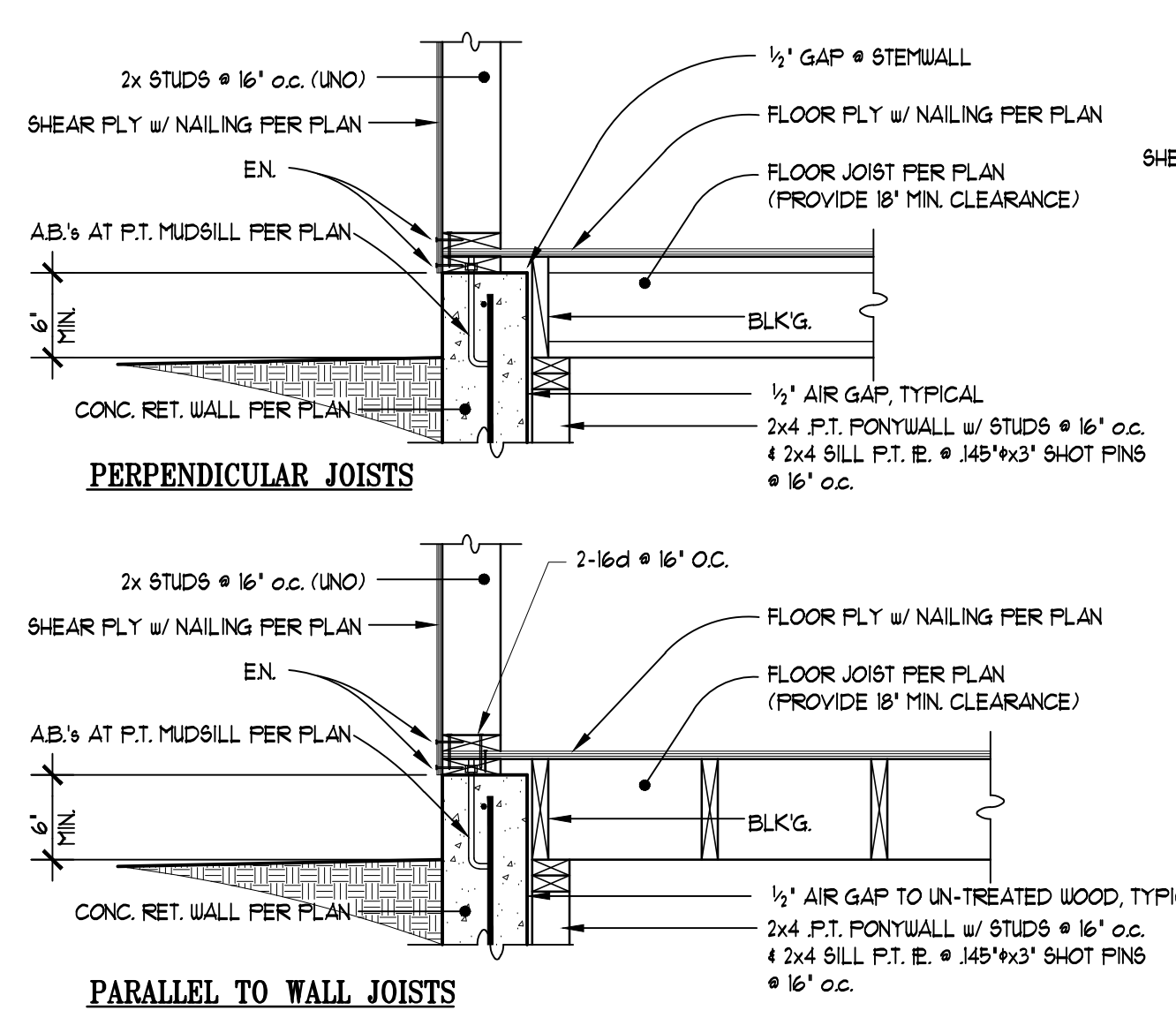
23 WOOD NAILER AT STEEL BM. OPTION
5/00-0205 SCALE: 3/4" = 1'-0"



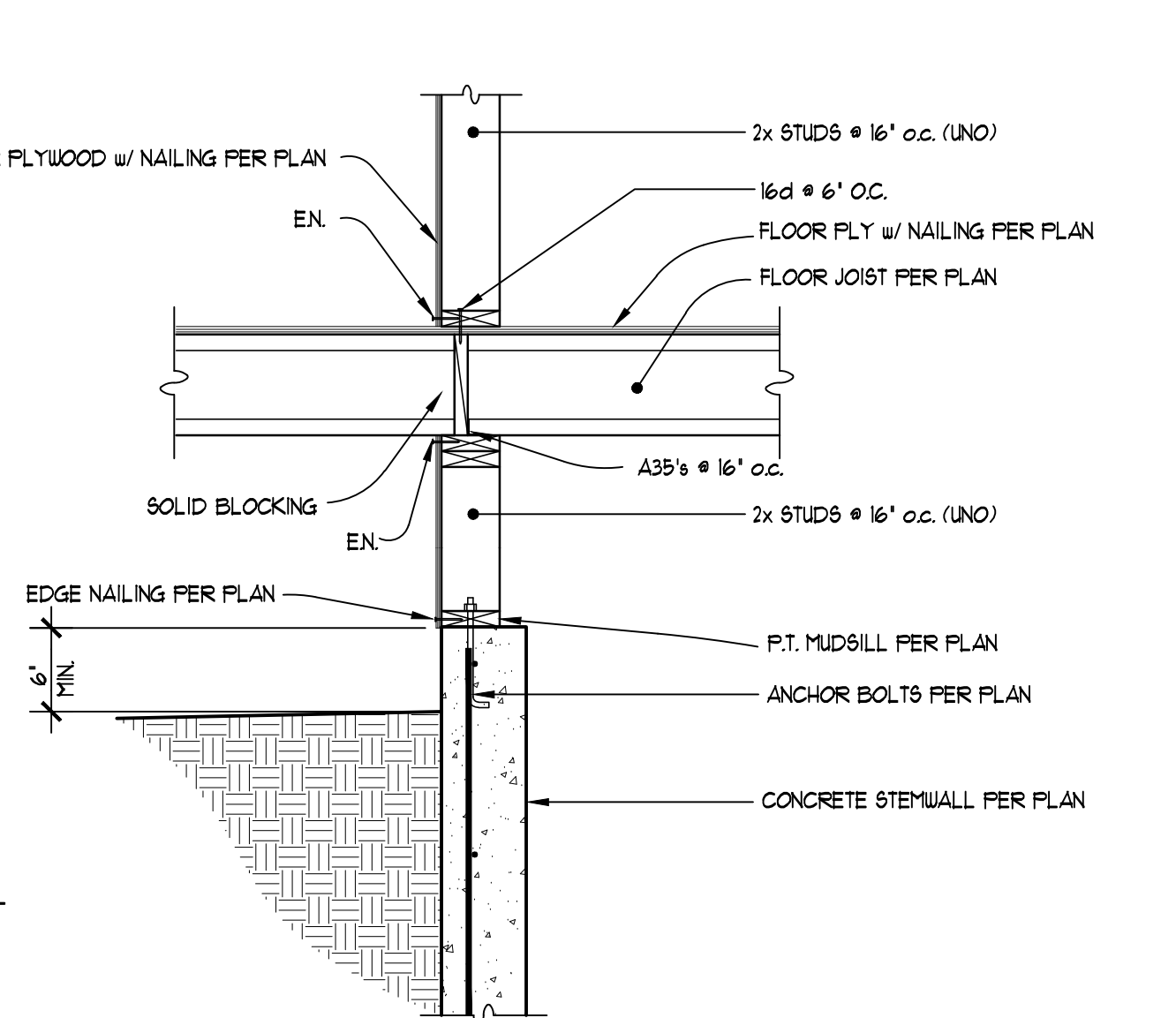
24 STEEL BEAM TO COLUMN CONNECTION
5/00-0212 SCALE: 3/4" = 1'-0"



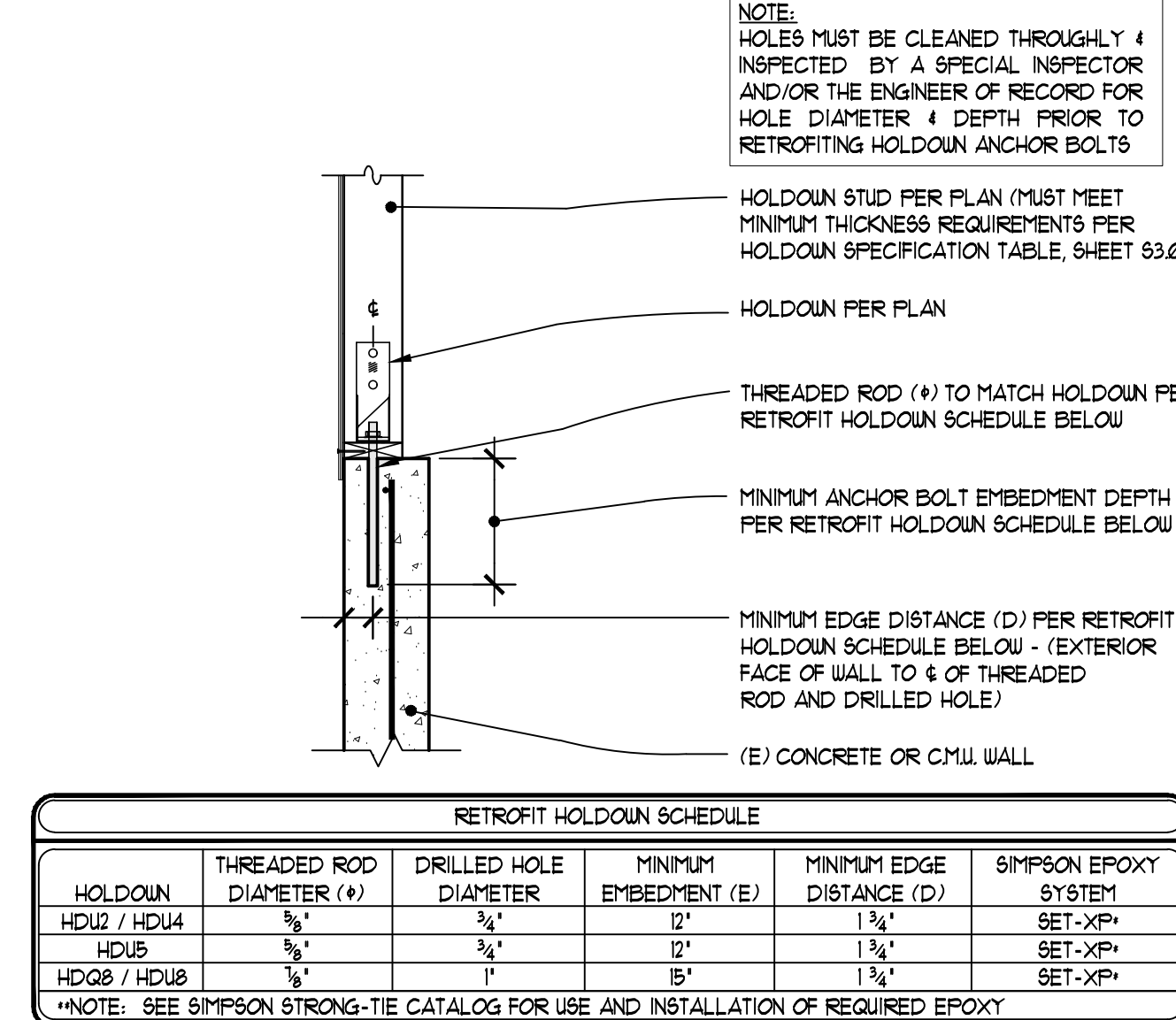
25 HOLDOWN @ STEEL BEAM CONNECTION
5/00-0218 SCALE: 1/2" = 1'-0"



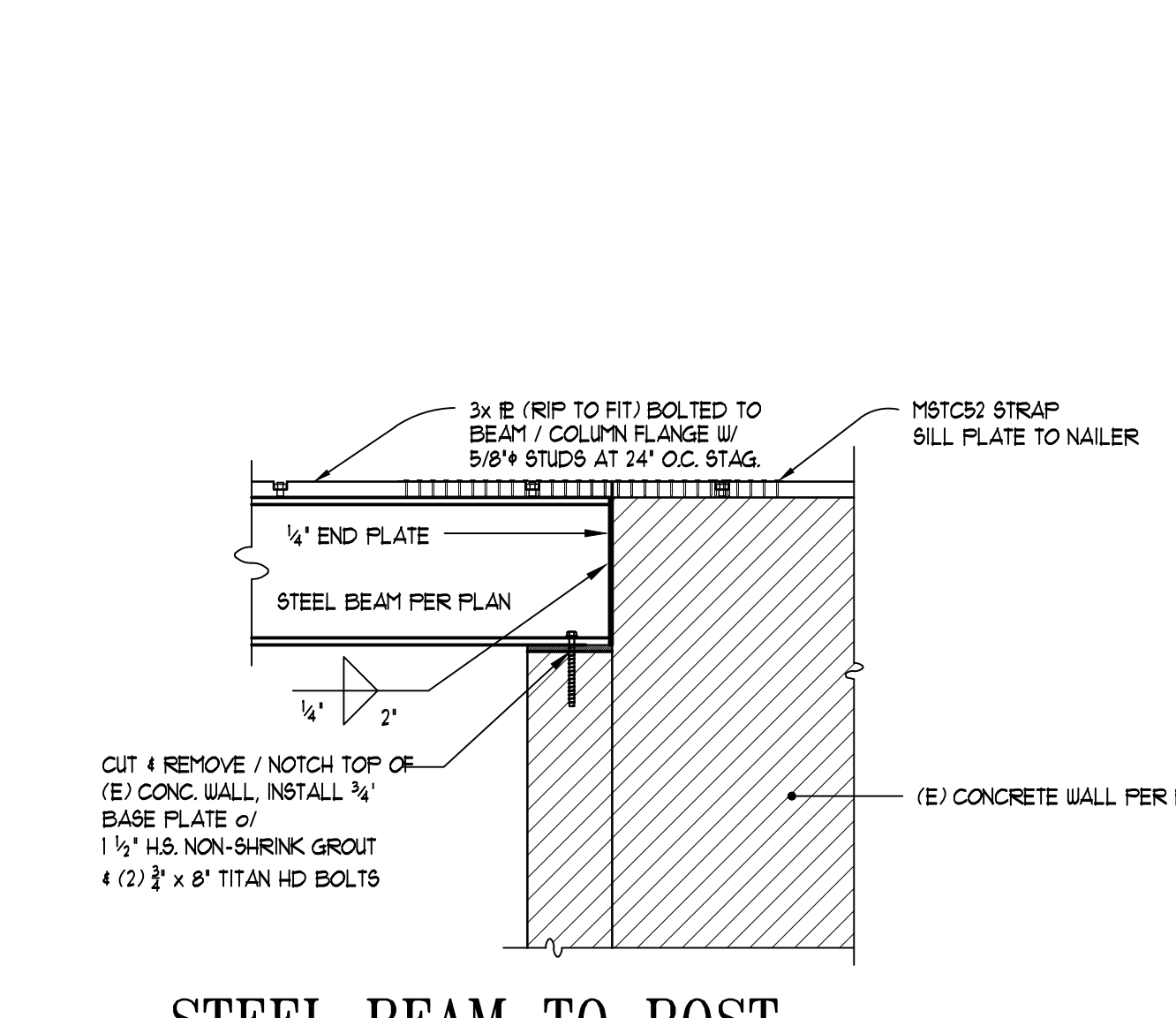
26 SHEAR TRANSFER AT EXISTING WALL
5/00-0211 SCALE: 3/4" = 1'-0"



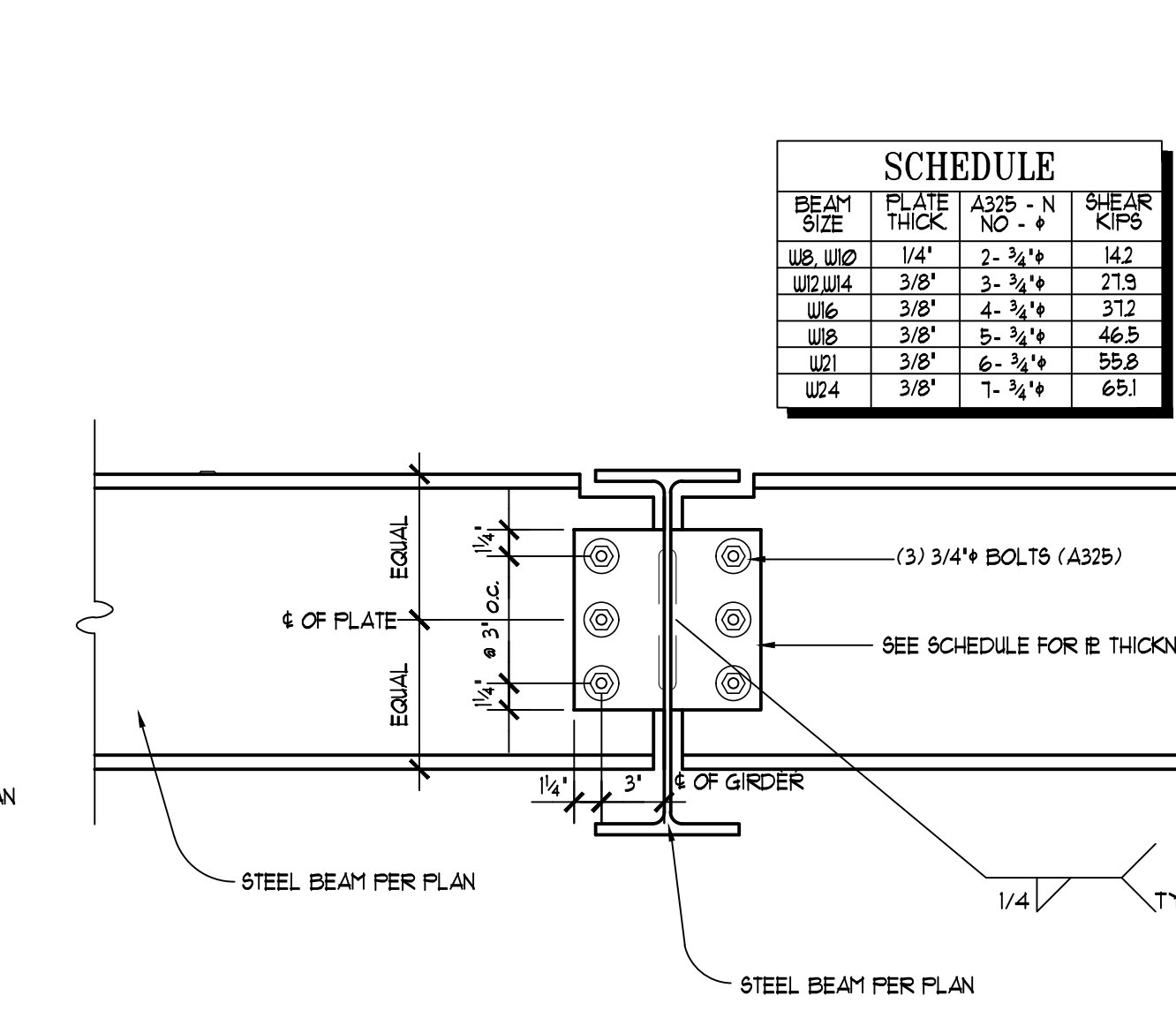
27 SHEAR WALL ACROSS FLOOR
5/00-0200 SCALE: 3/4" = 1'-0"



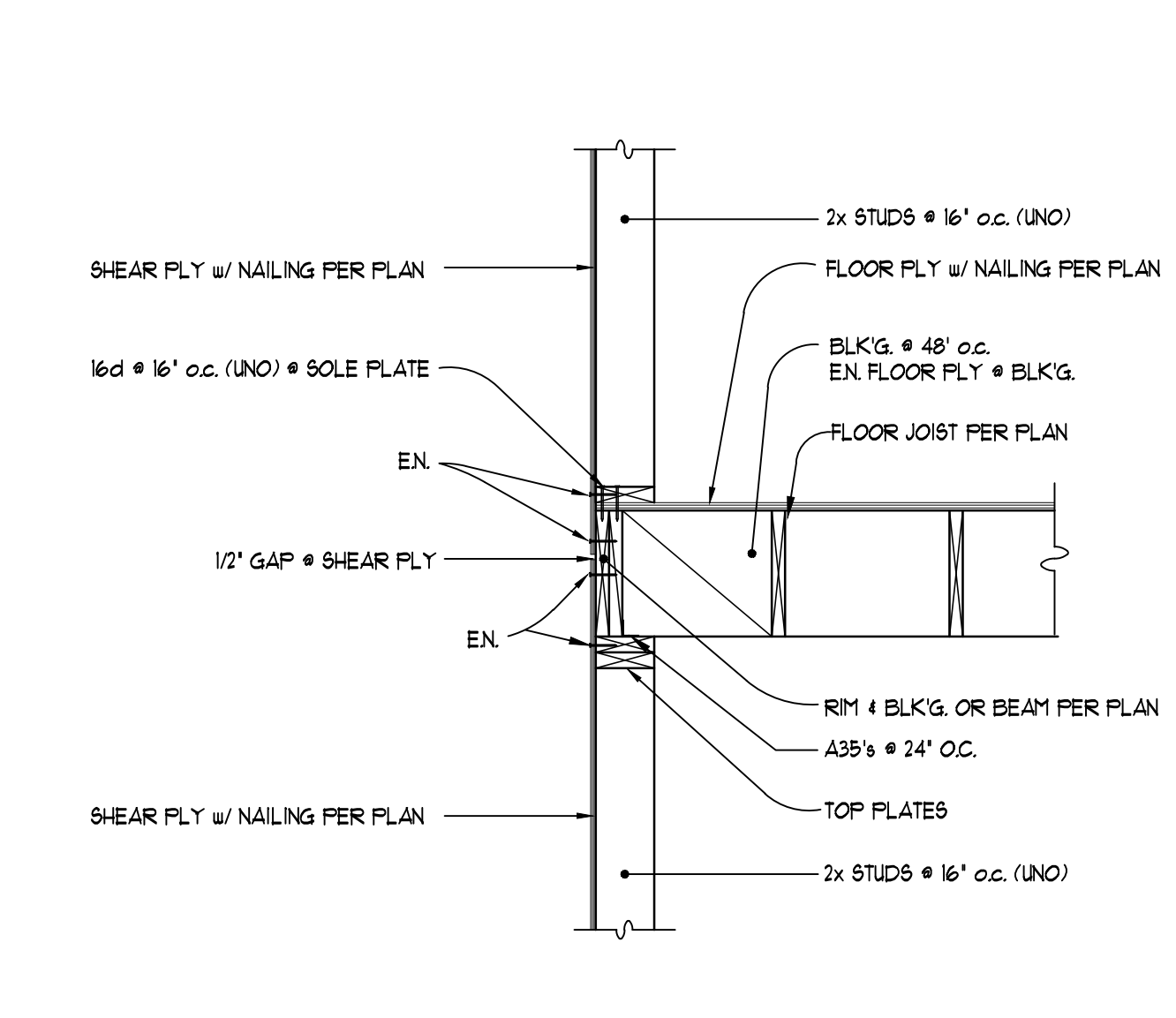
28 RETROFIT HOLDDOWNS AND SCHEDULE
5/00-0212 SCALE: 3/4" = 1'-0"



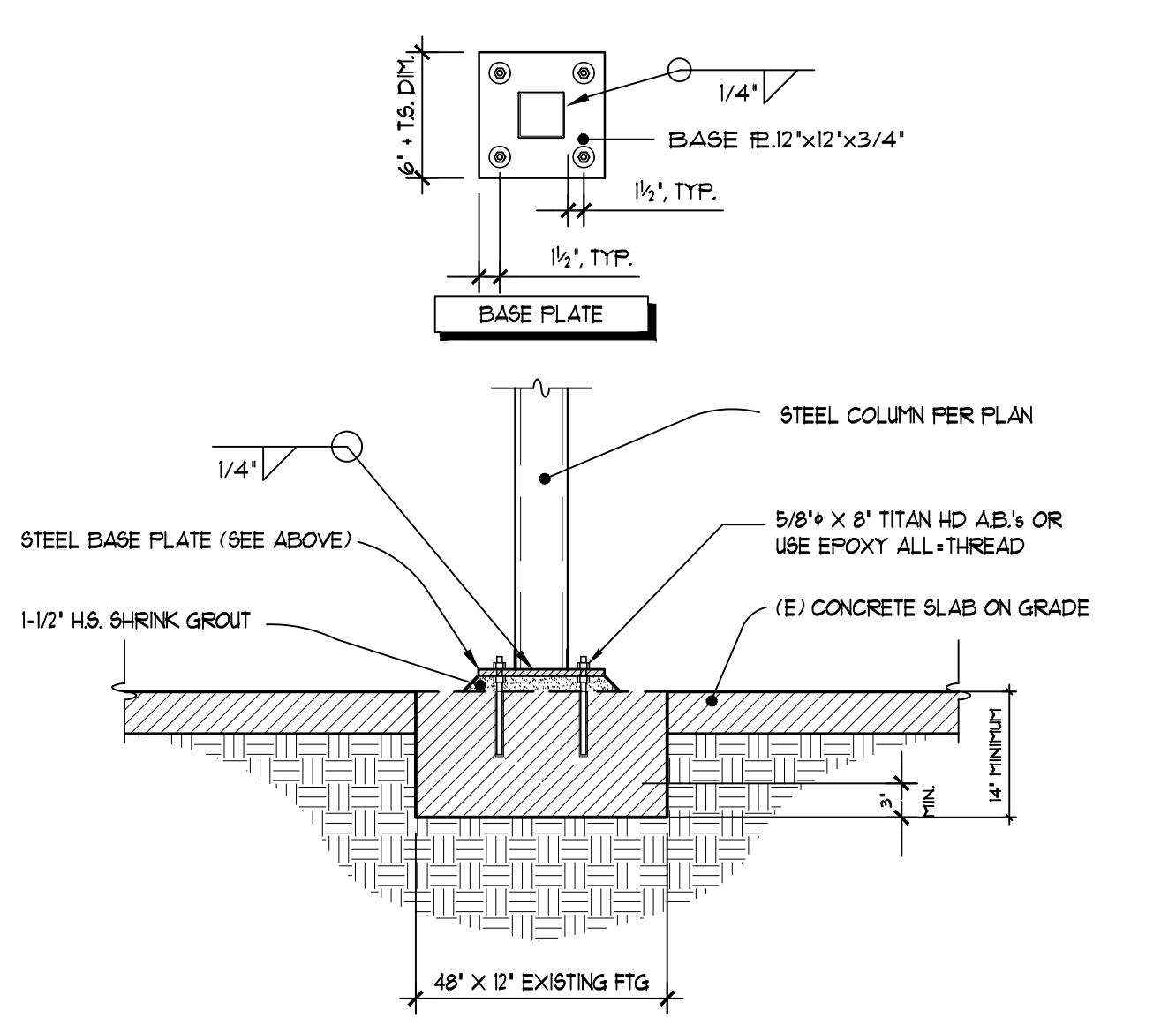
29 STEEL BEAM TO POST CONNECTION @ CONCRETE WALL
5/00-0244 SCALE: 1/2" = 1'-0"



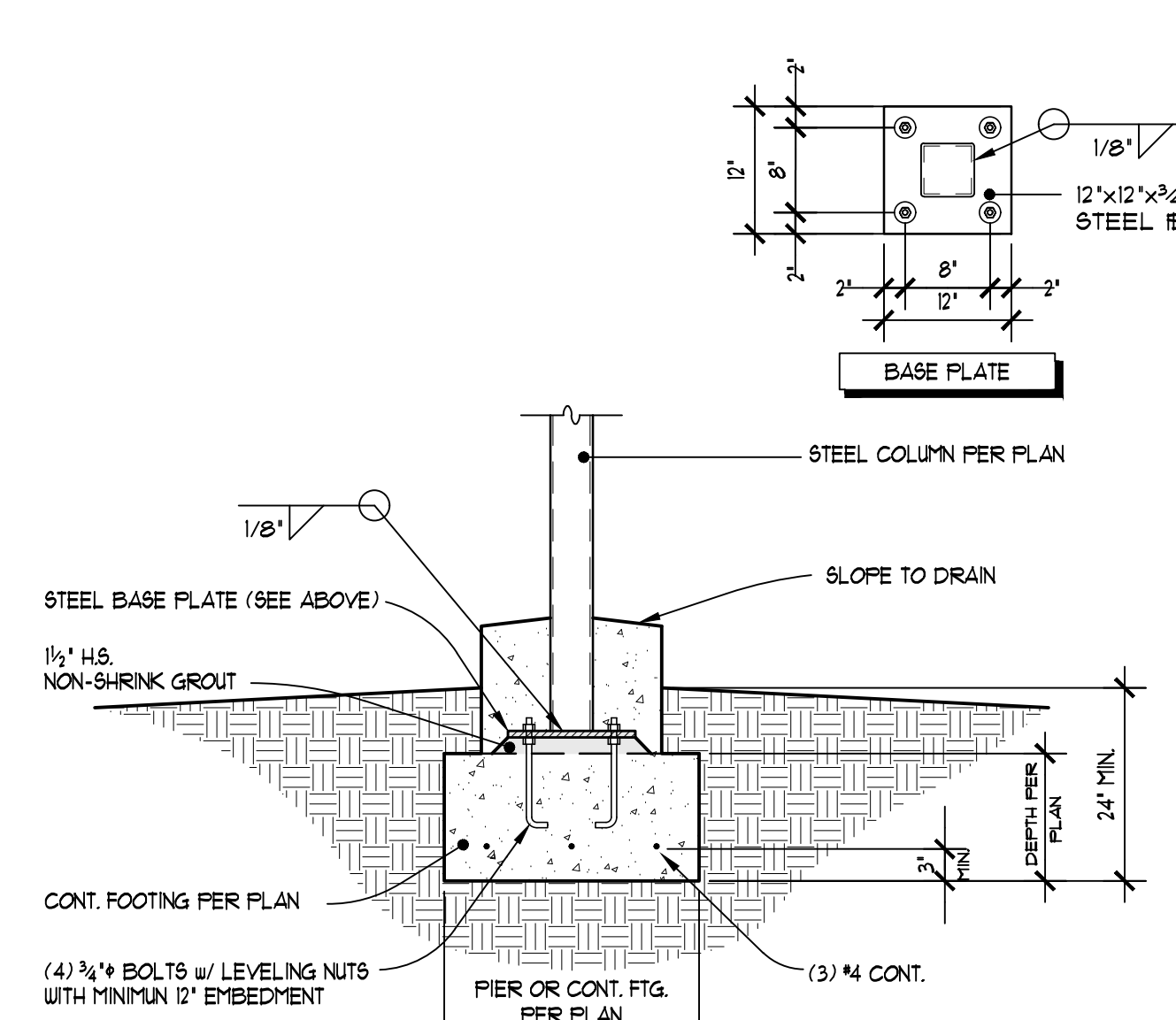
30 STEEL BEAM TO BEAM CONNECTION
5/00-0208 SCALE: 1/2" = 1'-0"



31 SHEAR TRANSFER ACROSS FLOOR
5/00-0244 SCALE: 3/4" = 1'-0"



32 T.S. COLUMN & BASE PLATE @ PIER
5/00-0200 SCALE: 3/4" = 1'-0"



33 STEEL COLUMN & BASE PLATE @ PIER
5/00-0212 SCALE: 3/4" = 1'-0"



35

BEAM SIZE	PLATE THICK	A325 - N	SHEAR KIPS
W8	1/4"	2 - 3/8"	14.2
W12	3/8"	3 - 3/8"	21.9
W16	3/8"	4 - 3/8"	31.0
W21	3/8"	5 - 3/8"	46.5
W24	3/8"	6 - 3/8"	55.8
W24	3/8"	7 - 3/8"	65.1

Plans Reviewed for Compliance
SBLD21-22136
Conditions
Date: 02/28/2021
Division: Building
Project: 5/00/0201
File: 5/00/0201
Engineer: J. Thomas
Professional Seal: J. Thomas
Public Works

REVISIONS

NO.	DESCRIPTION	DATE

2355 GREEN VISTA DRIVE, SUITE 107
SPARKS, NEVADA 89431
775-333-5211 (PHONE)
E-Mail: infinityeng@gmail.com

Infinity ENGINEERING INC.

PROFESSIONAL ENGINEER STATE OF NEVADA
WASEEM AKHTAR
No. 1231-22
Exp. 12-31-22
5-14-21

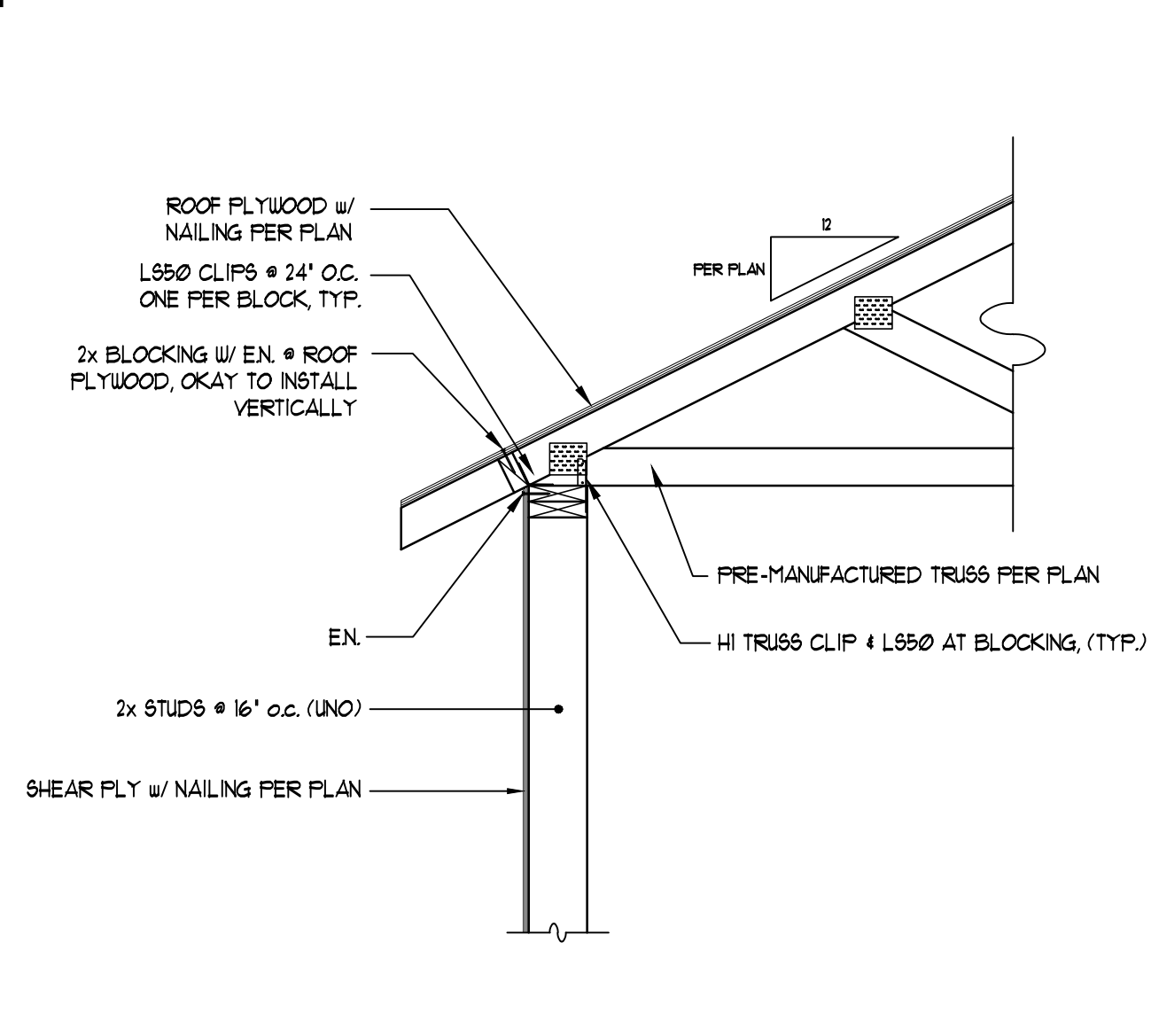
STRUCTURAL DETAILS

NEW SINGLE FAMILY CUSTOM RESIDENCE
5708 VISTA TERRACE LANE
LOT 1, VISTA RIDGE SUBD. UNIT 6
SPARKS, NV 89436
A.P.N. 518-692-01

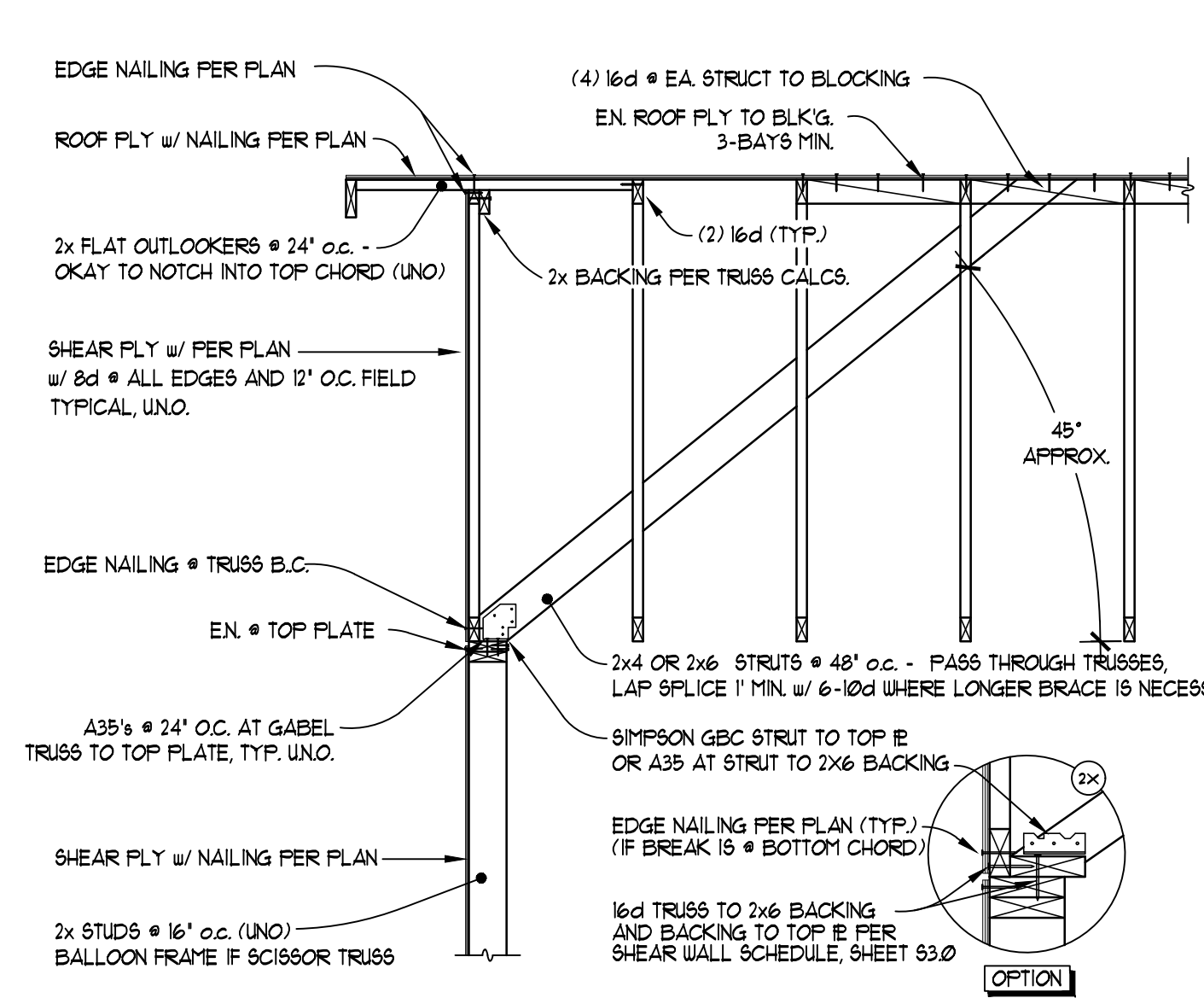
DRAWN BY: WA
JOB #: 21-1449
DATE: 5-14-2021
SCALE:

FOR JURISDICTION

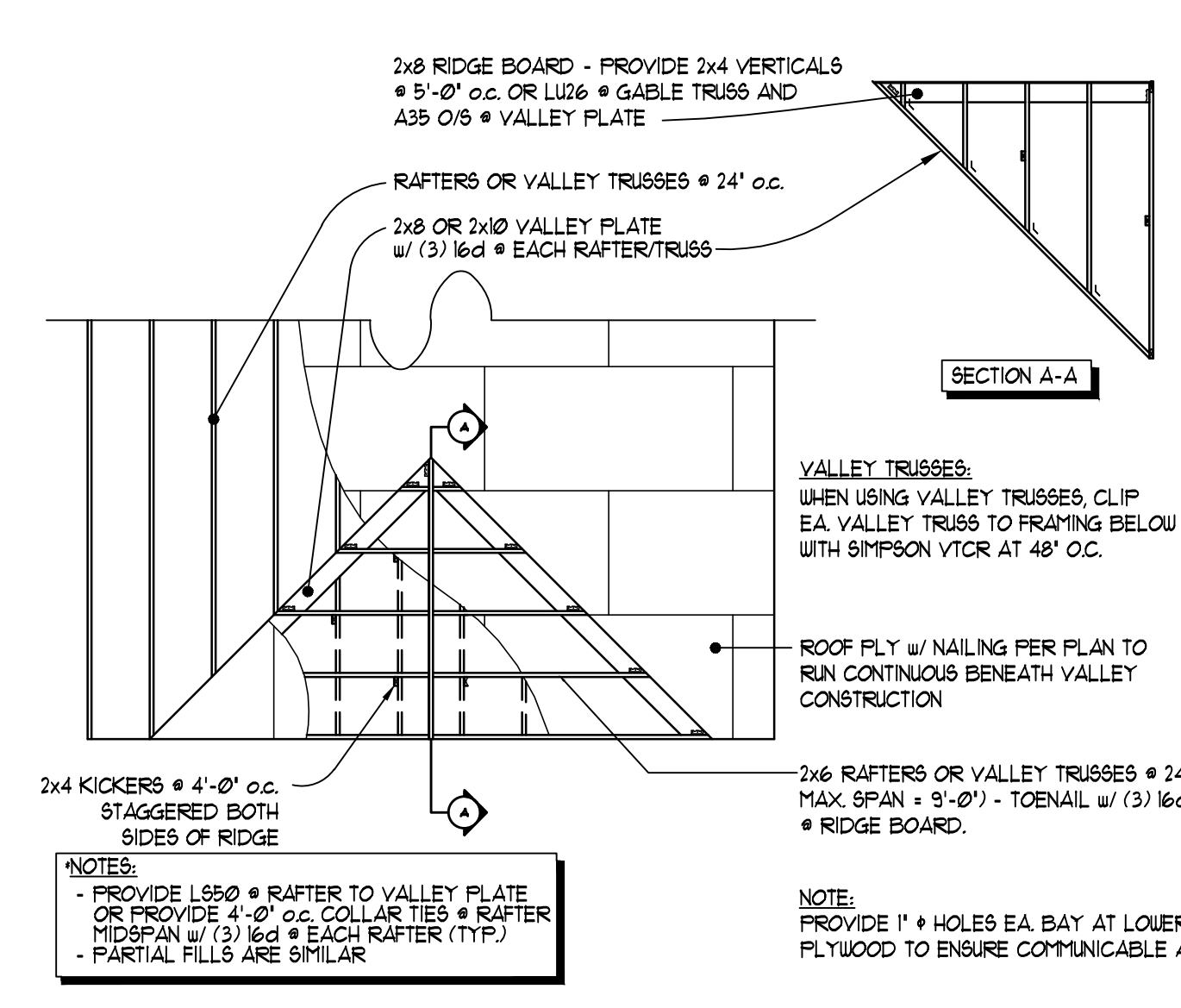
APPROVAL



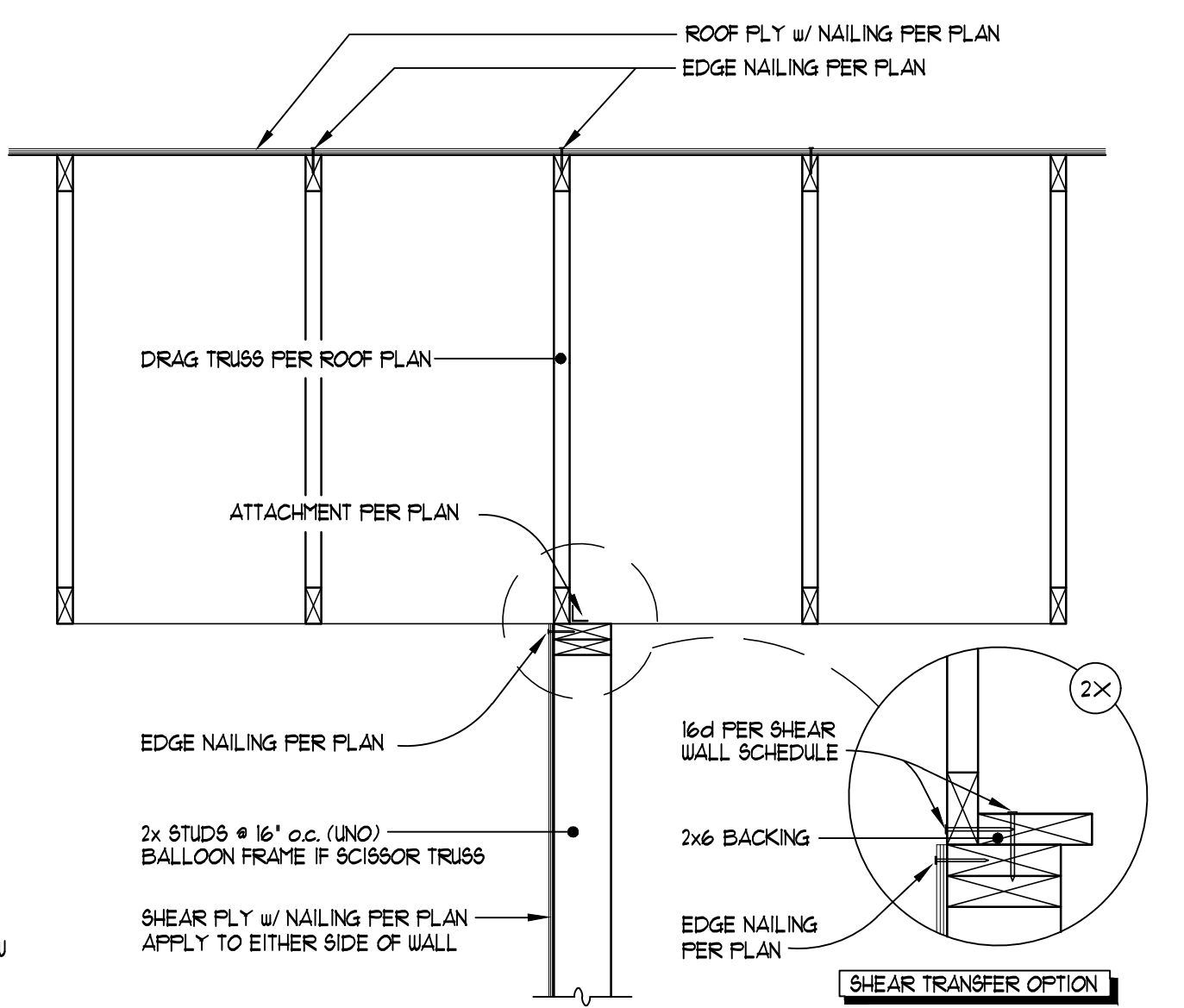
41 TRUSS TO TOP PLATE CONNECTION
300-005 SCALE: 3/4" = 1'-0"



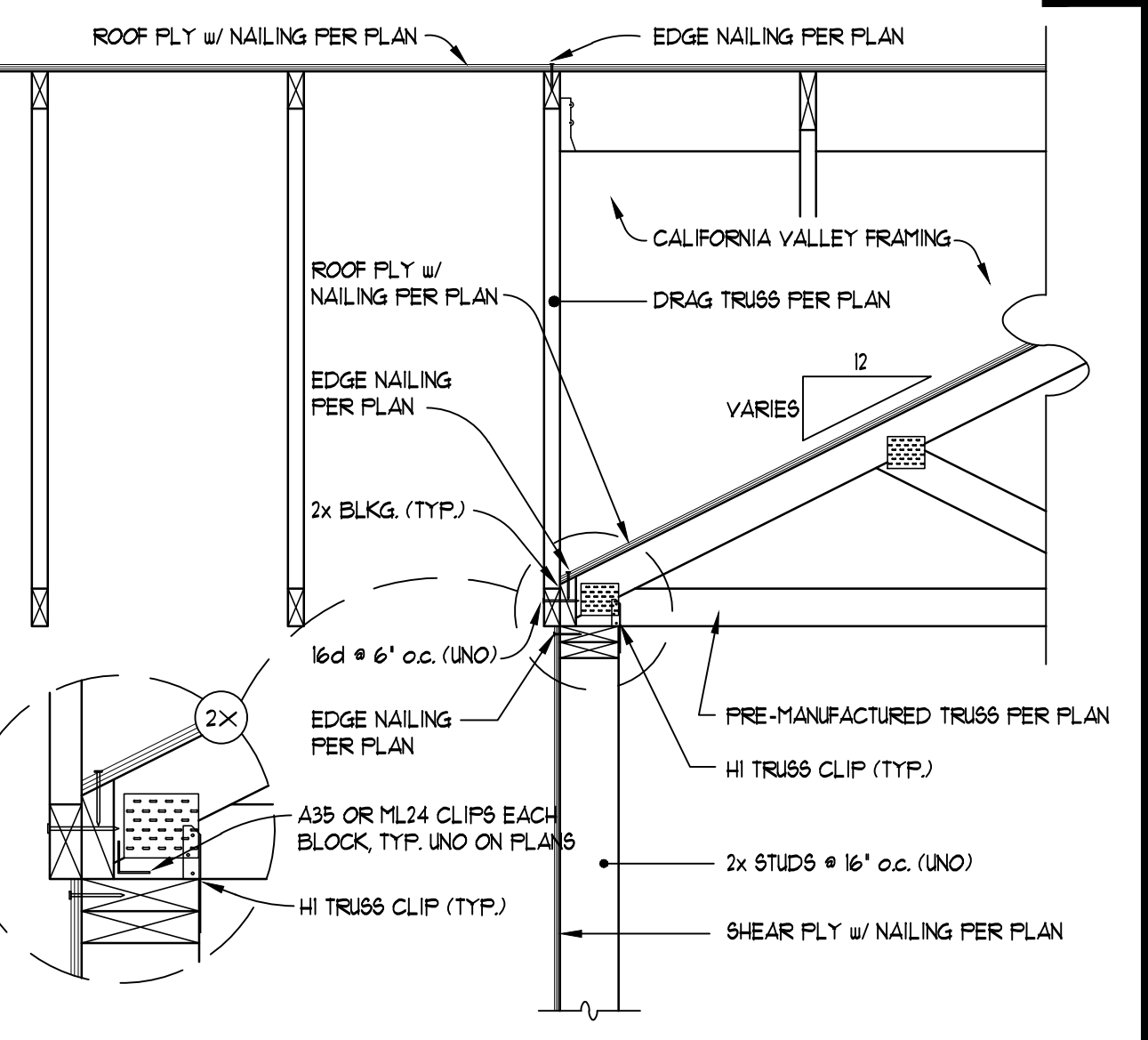
42 GABLE WALL BRACING
300-115 SCALE: 3/4" = 1'-0"



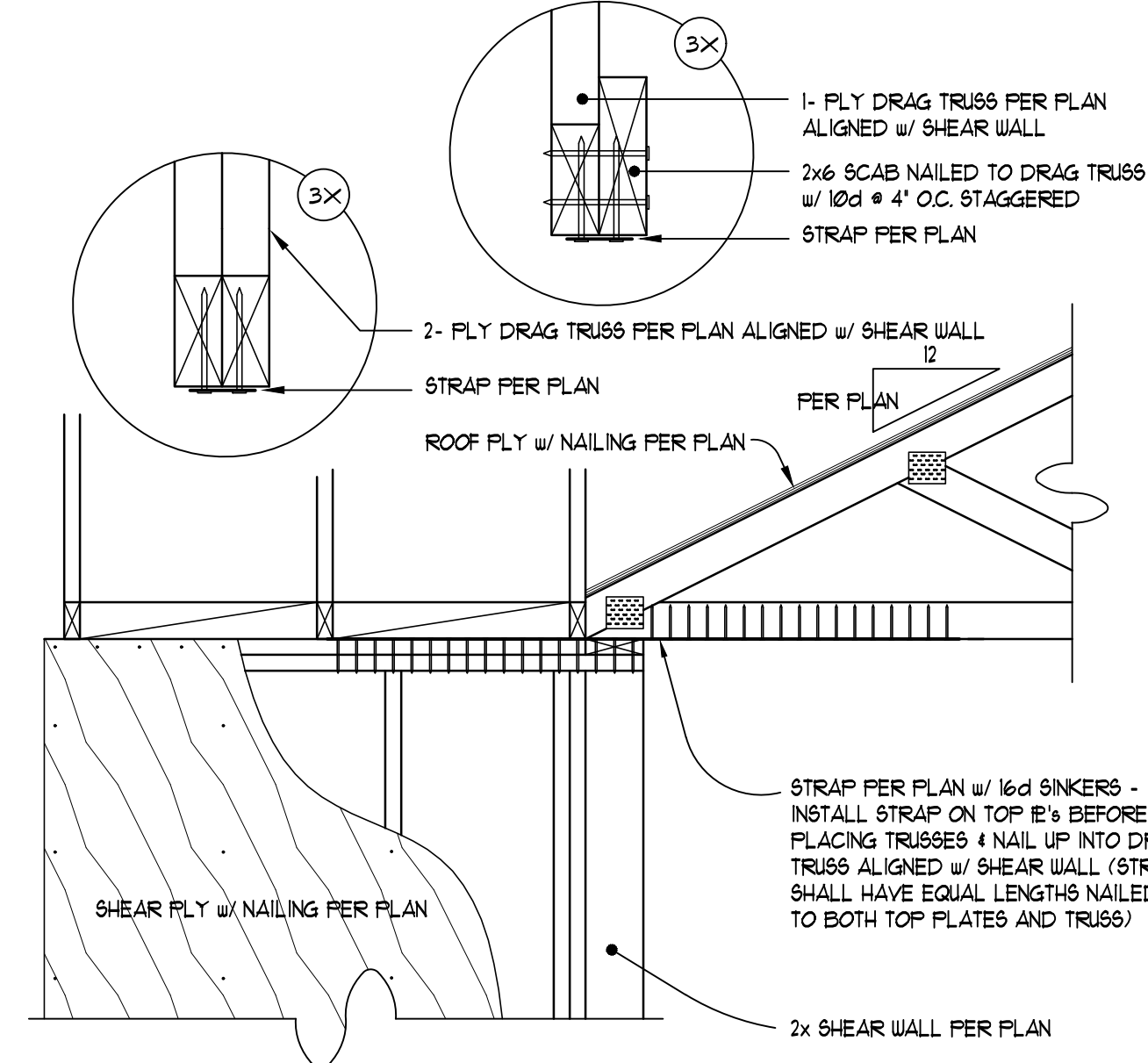
43 CALIFORNIA VALLEY
340-005 SCALE: 3/8" = 1'-0"



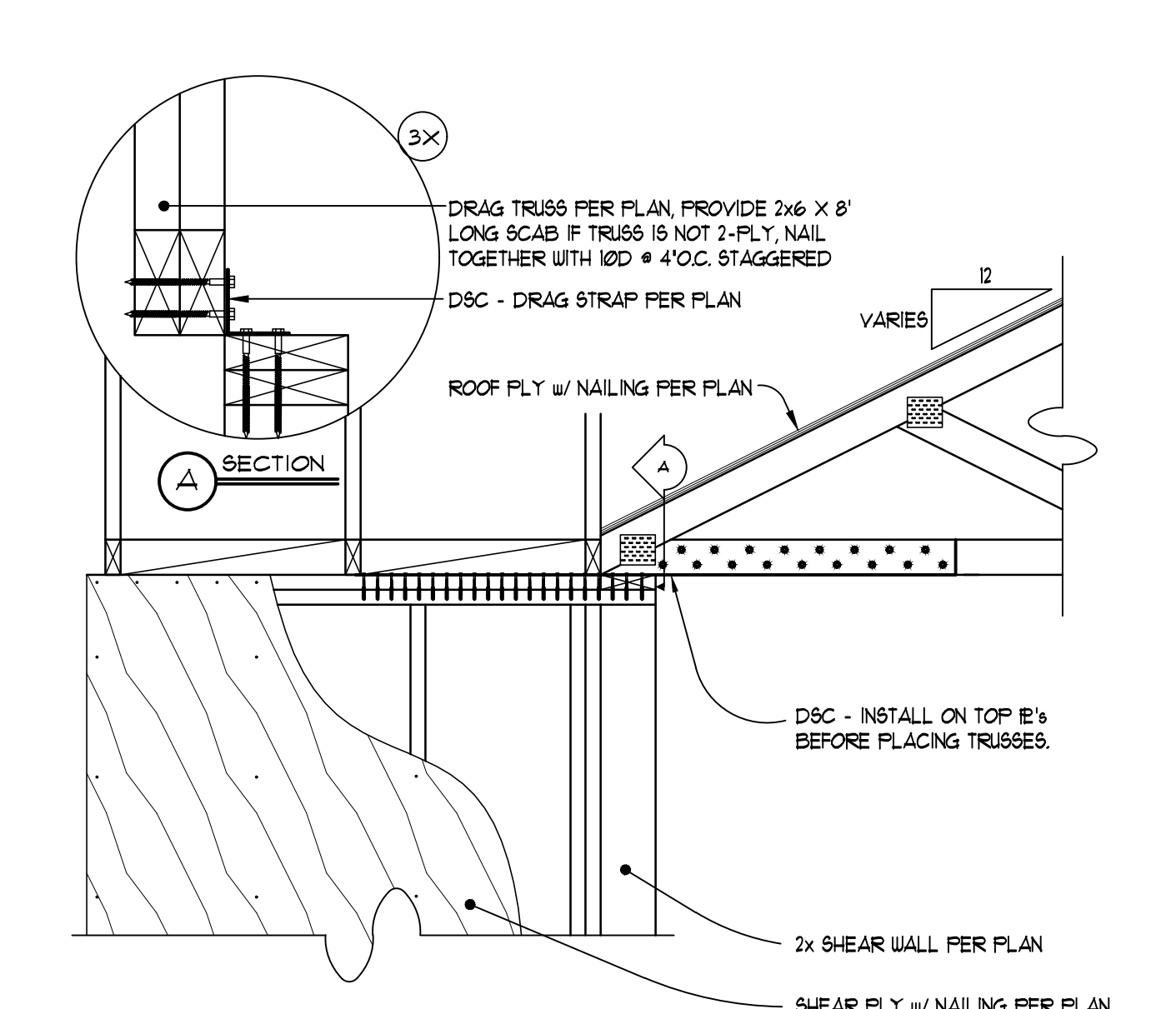
44 DRAG TRUSS CONNECTION
310-045 SCALE: 3/4" = 1'-0"



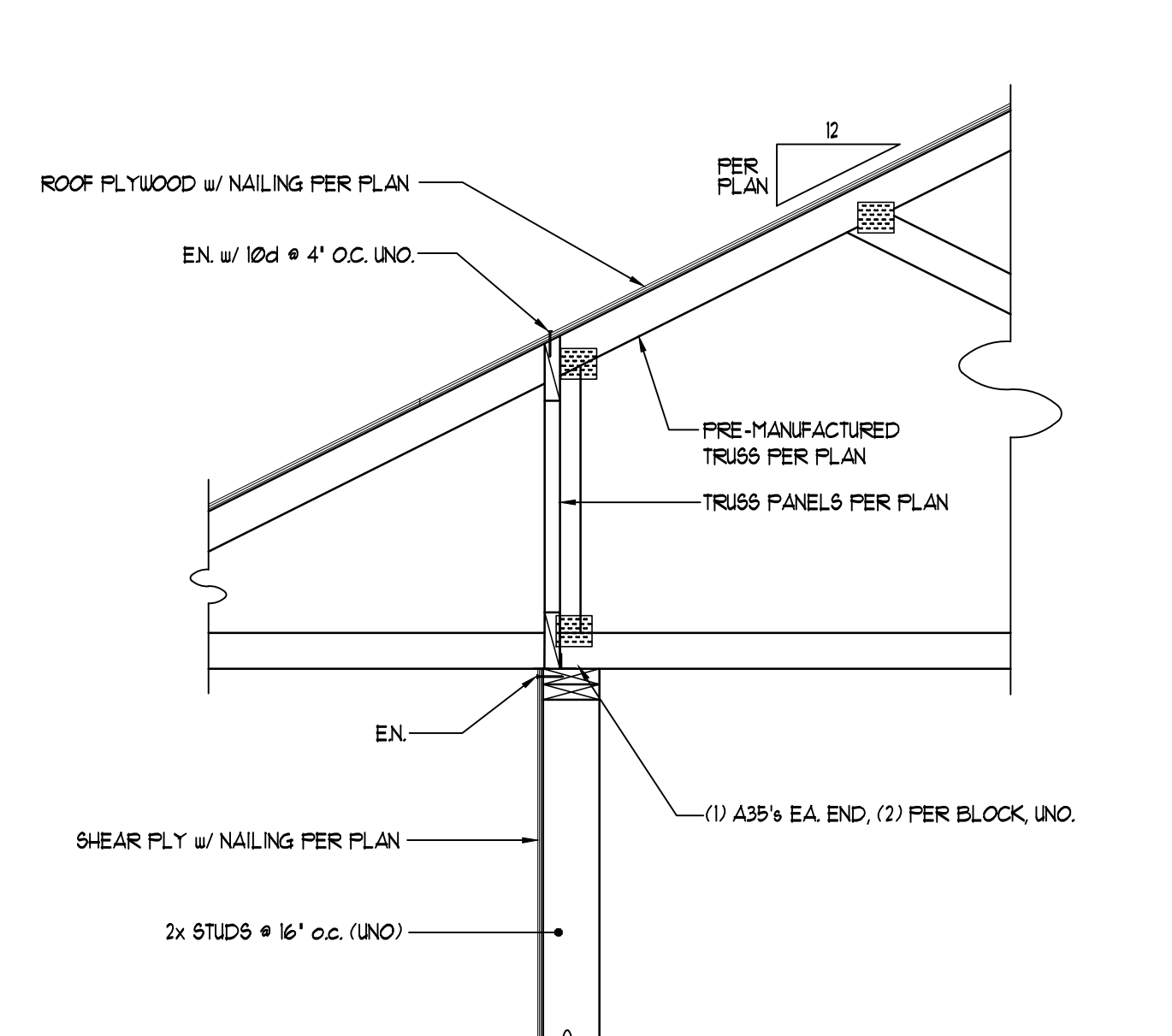
45 DRAG TRUSS TO WALL CONNECTION
310-005 SCALE: 3/4" = 1'-0"



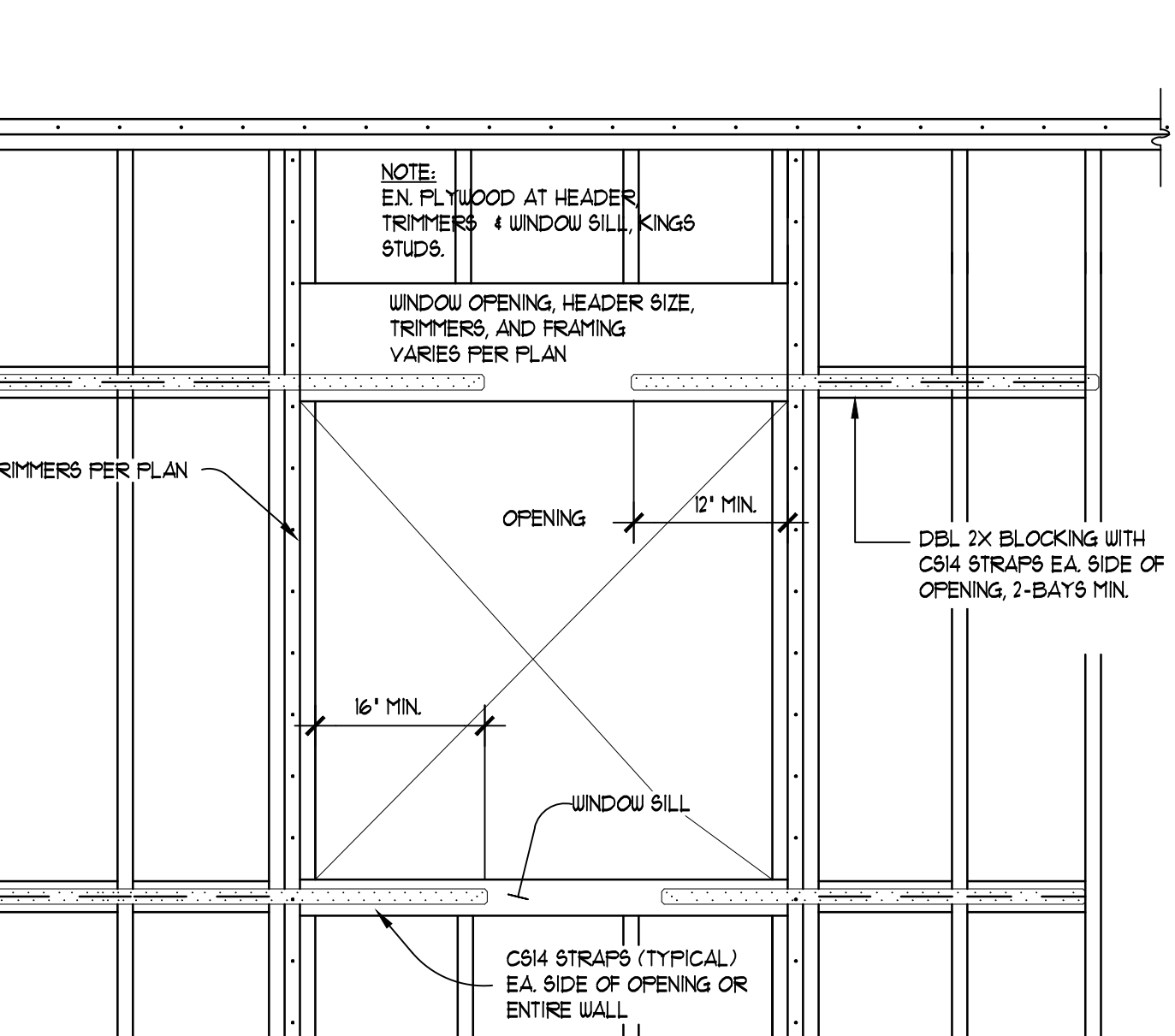
46 DRAG TRUSS TO WALL CONNECTION
340-03043 SCALE: 3/4" = 1'-0"



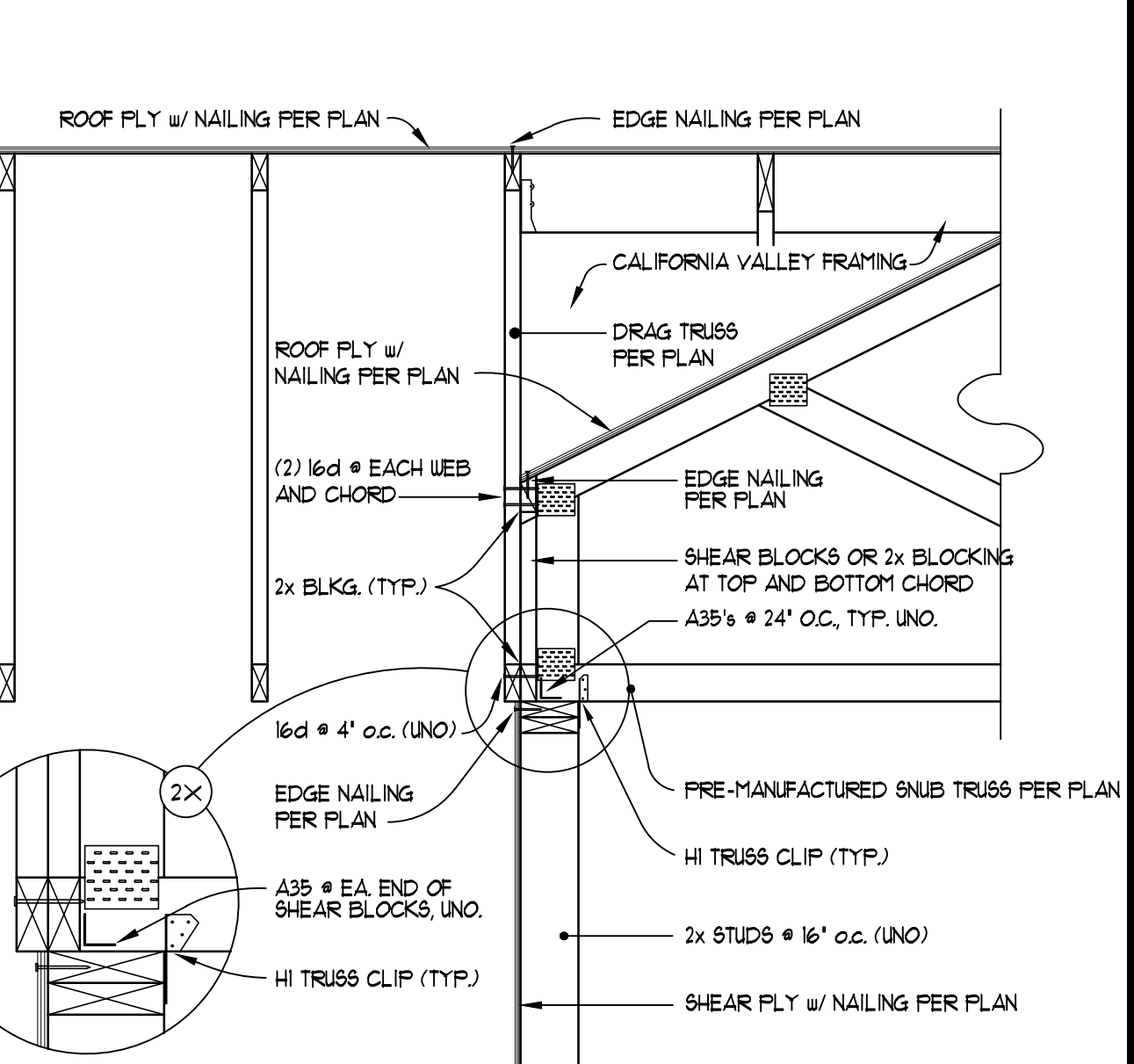
47 DRAG STRAP CONNECTION
340-0304 SCALE: 3/4" = 1'-0"



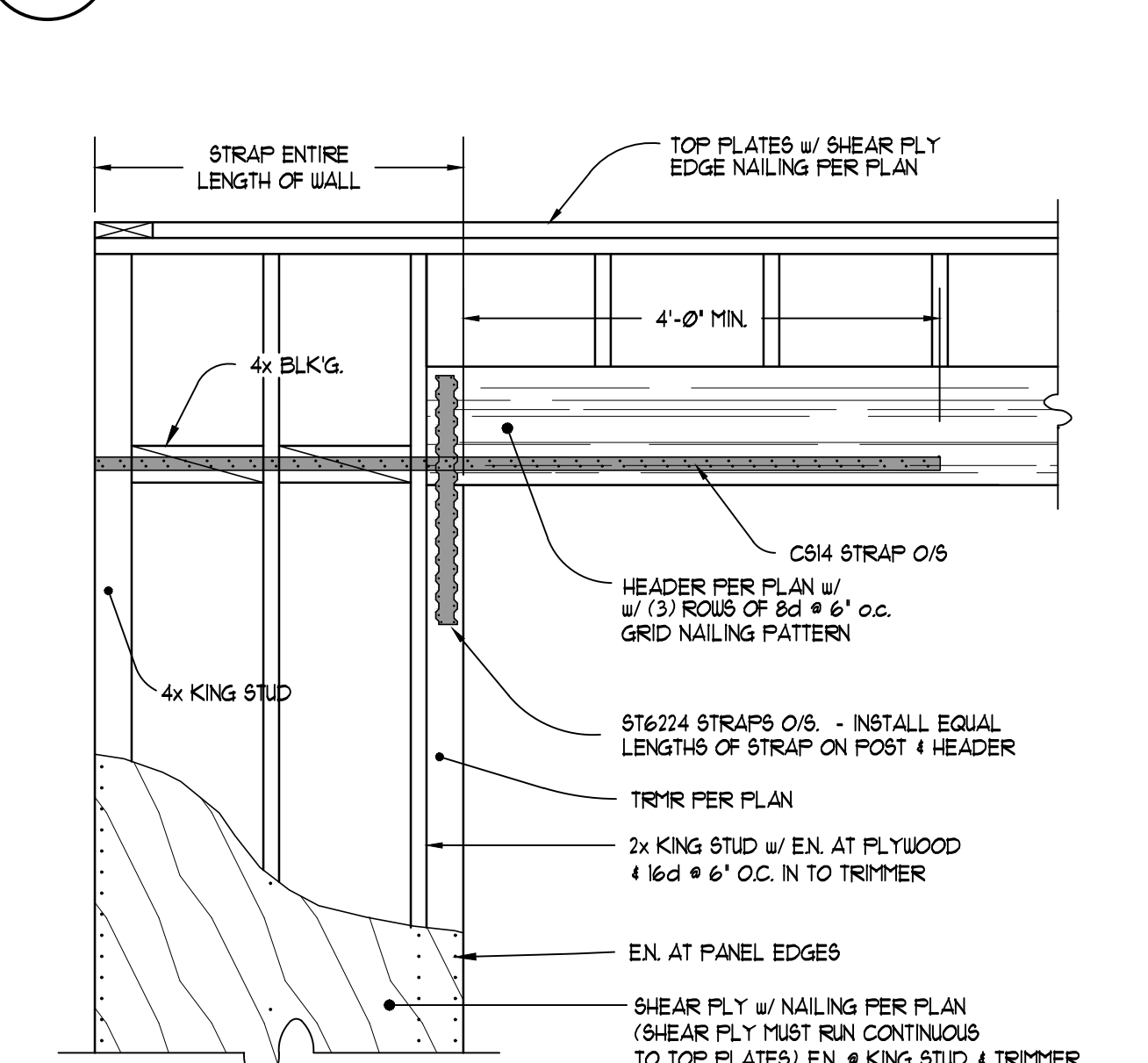
48 SHEAR TRANSFER AT ROOF
300-045C2 SCALE: 3/4" = 1'-0"



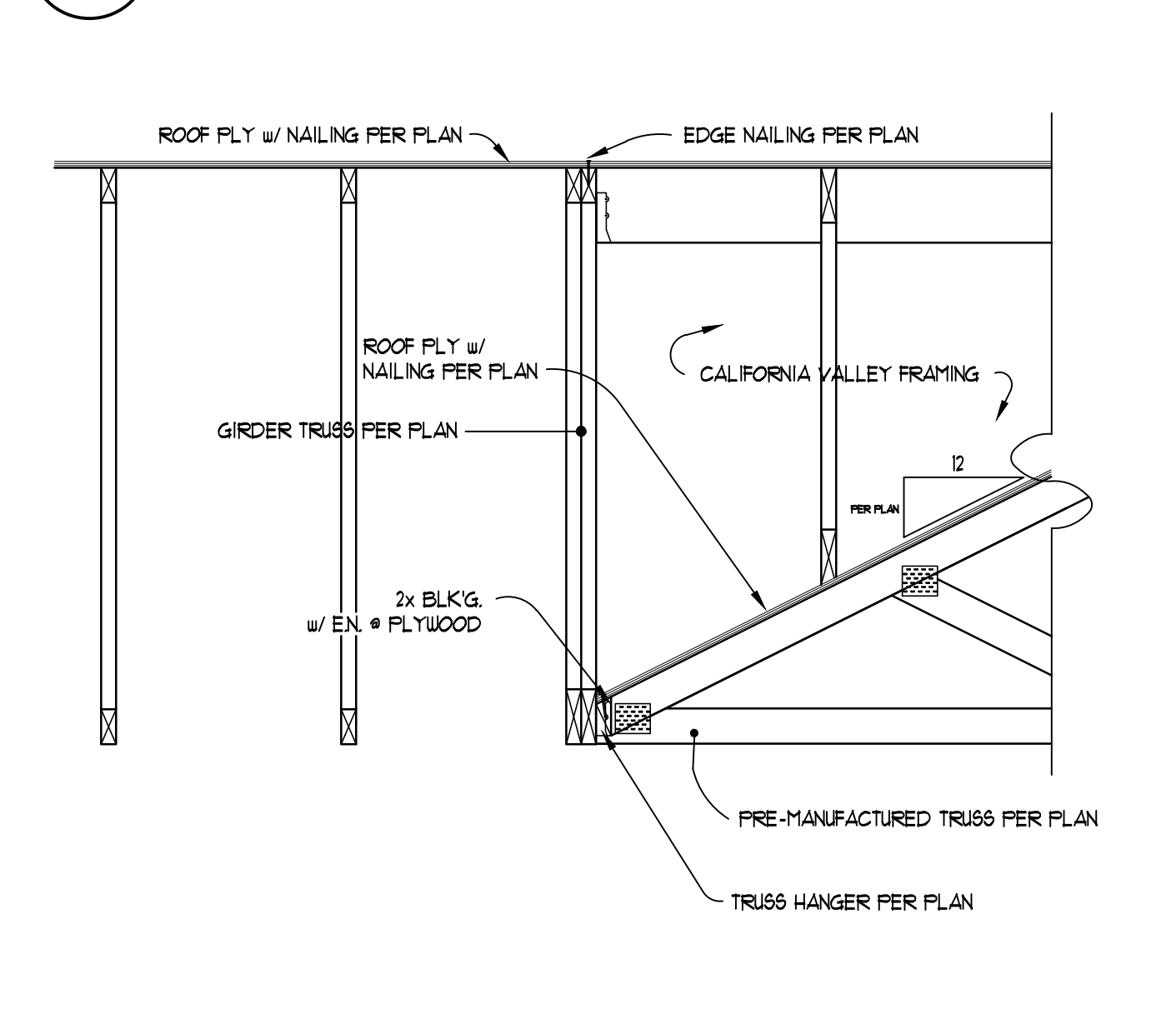
49 SHEAR TRANSFER @ WINDOW OPENING
310-005 SCALE: 3/4" = 1'-0"



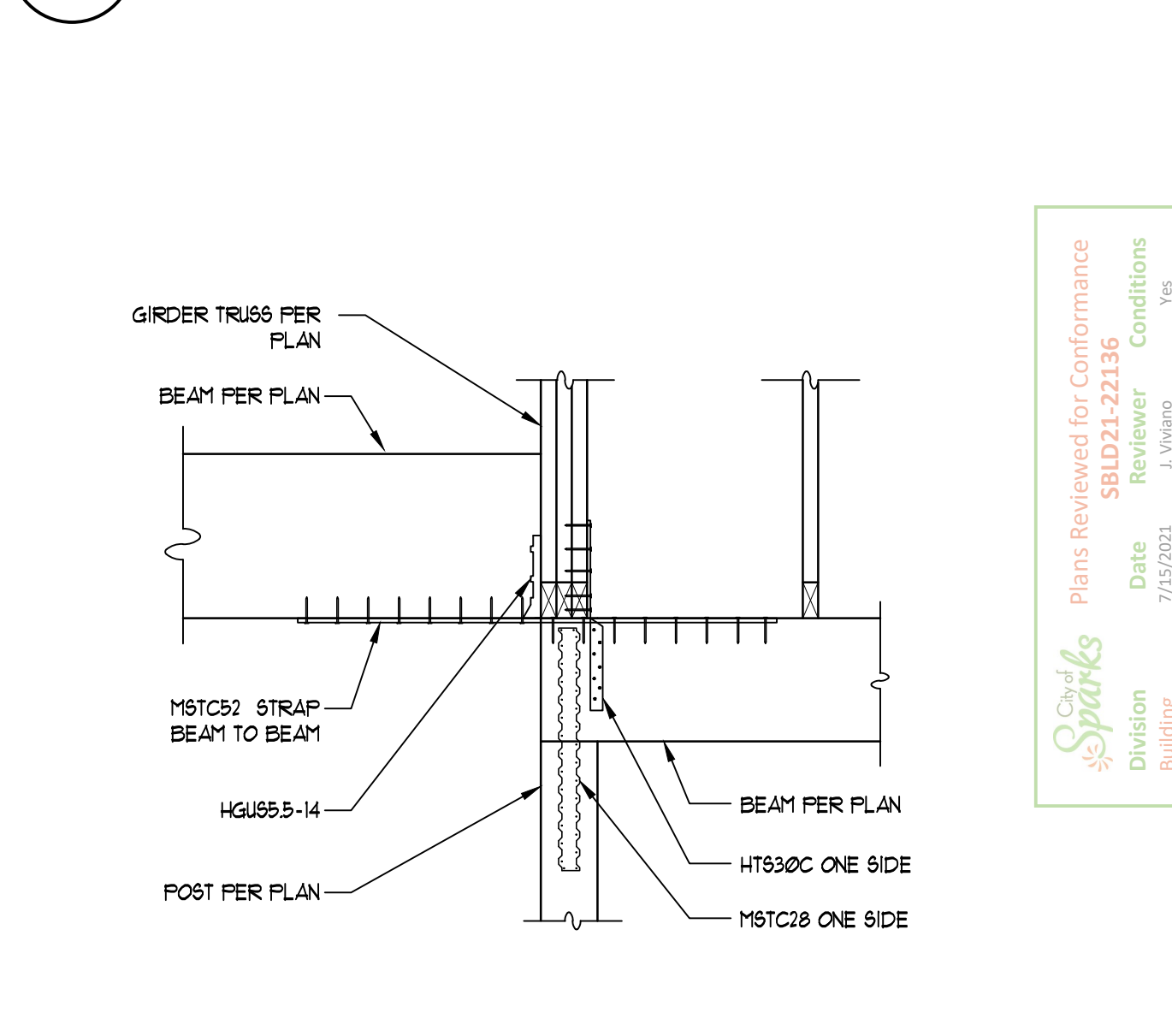
50 SHEAR TRANSFER AT STUBBED TRUSS
310-015C SCALE: 3/4" = 1'-0"



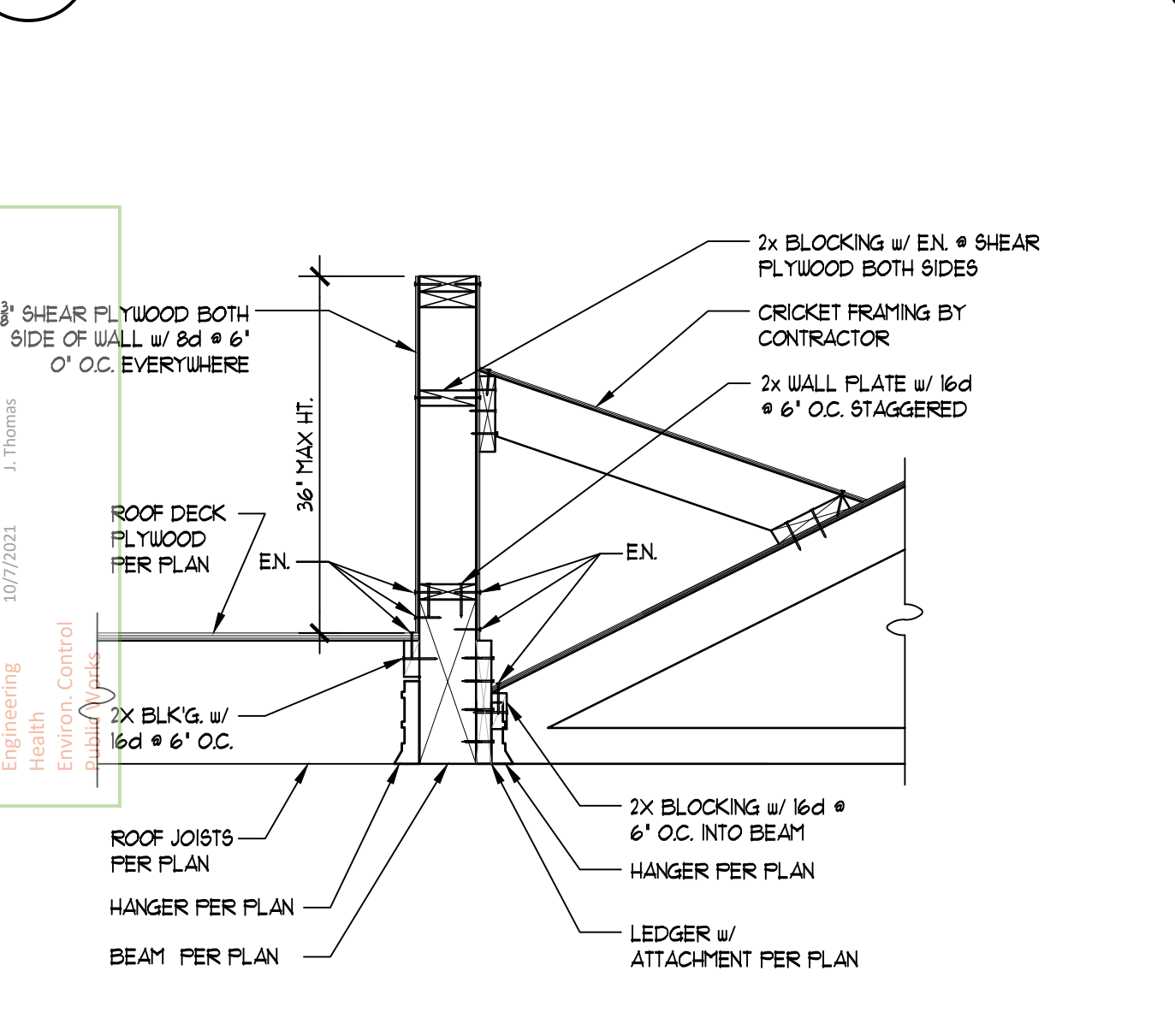
51 HEADER @ SHEAR PANEL
310-005 SCALE: 3/4" = 1'-0"



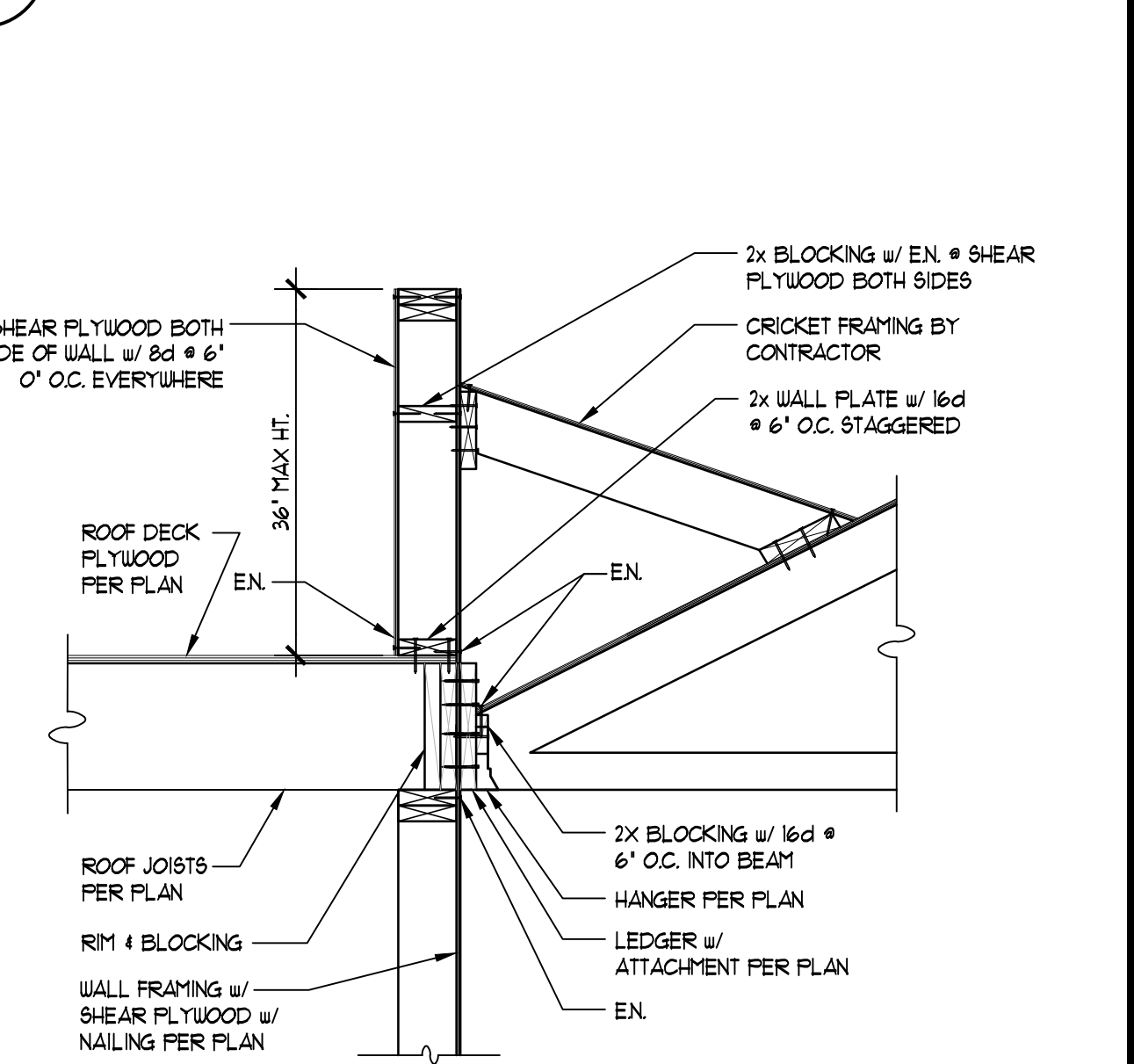
52 INTERIOR GIRDER CONNECTION
310-015A1 SCALE: 3/4" = 1'-0"



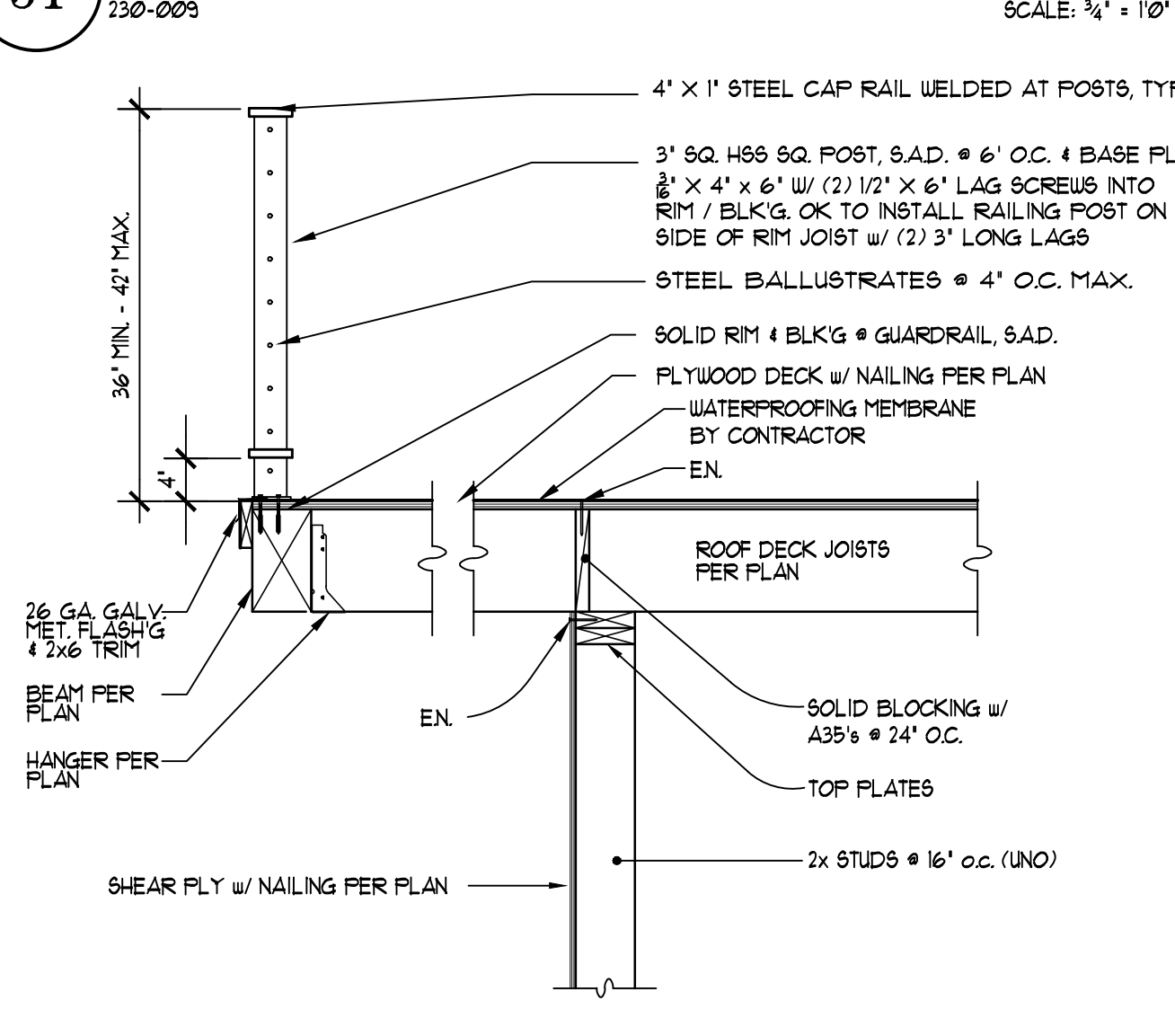
53 STRAP AT BEAM TO BEAM CONNECTION
300-152A15



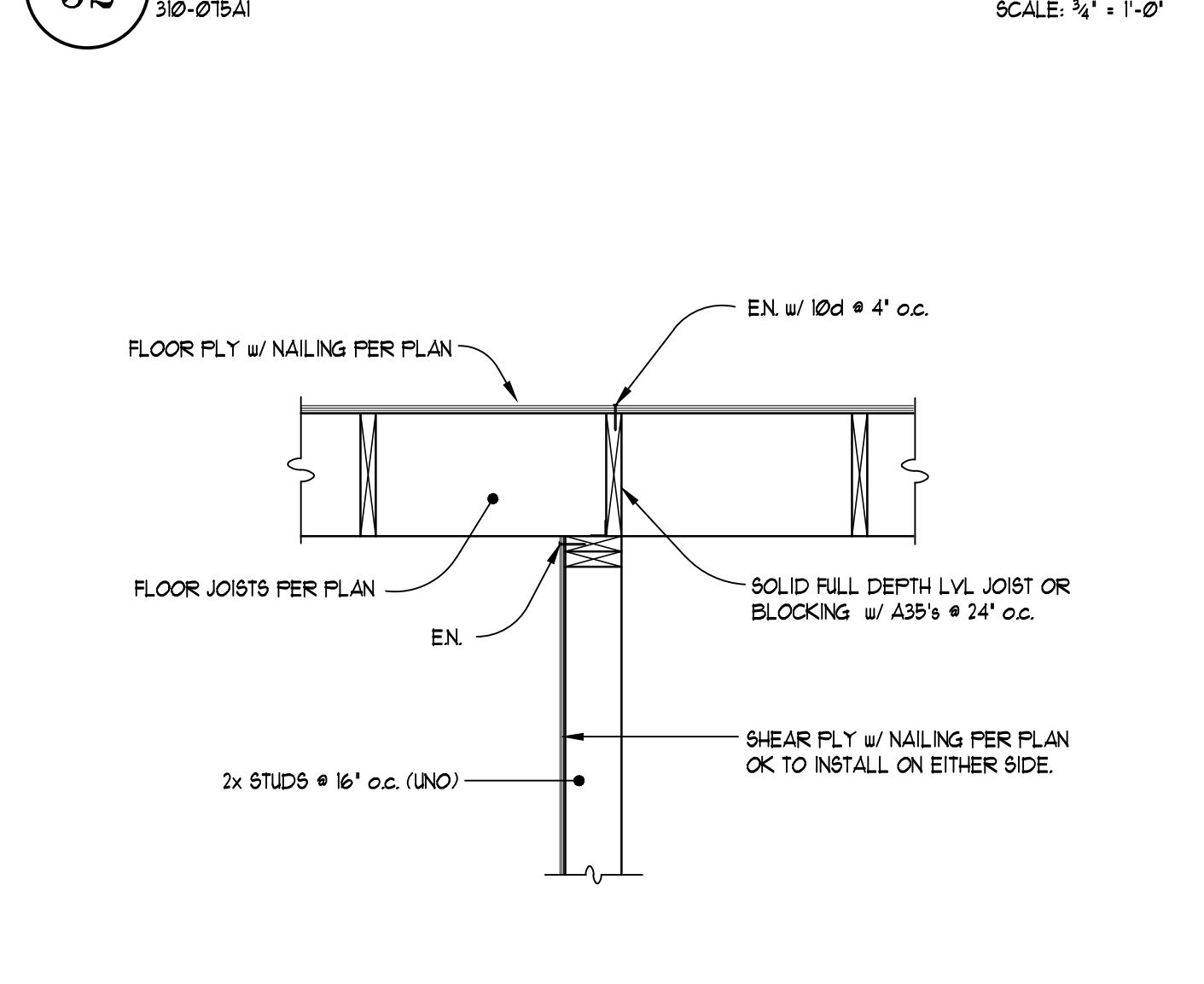
54 SHEAR TRANSFER AT ROOF
300-152A15



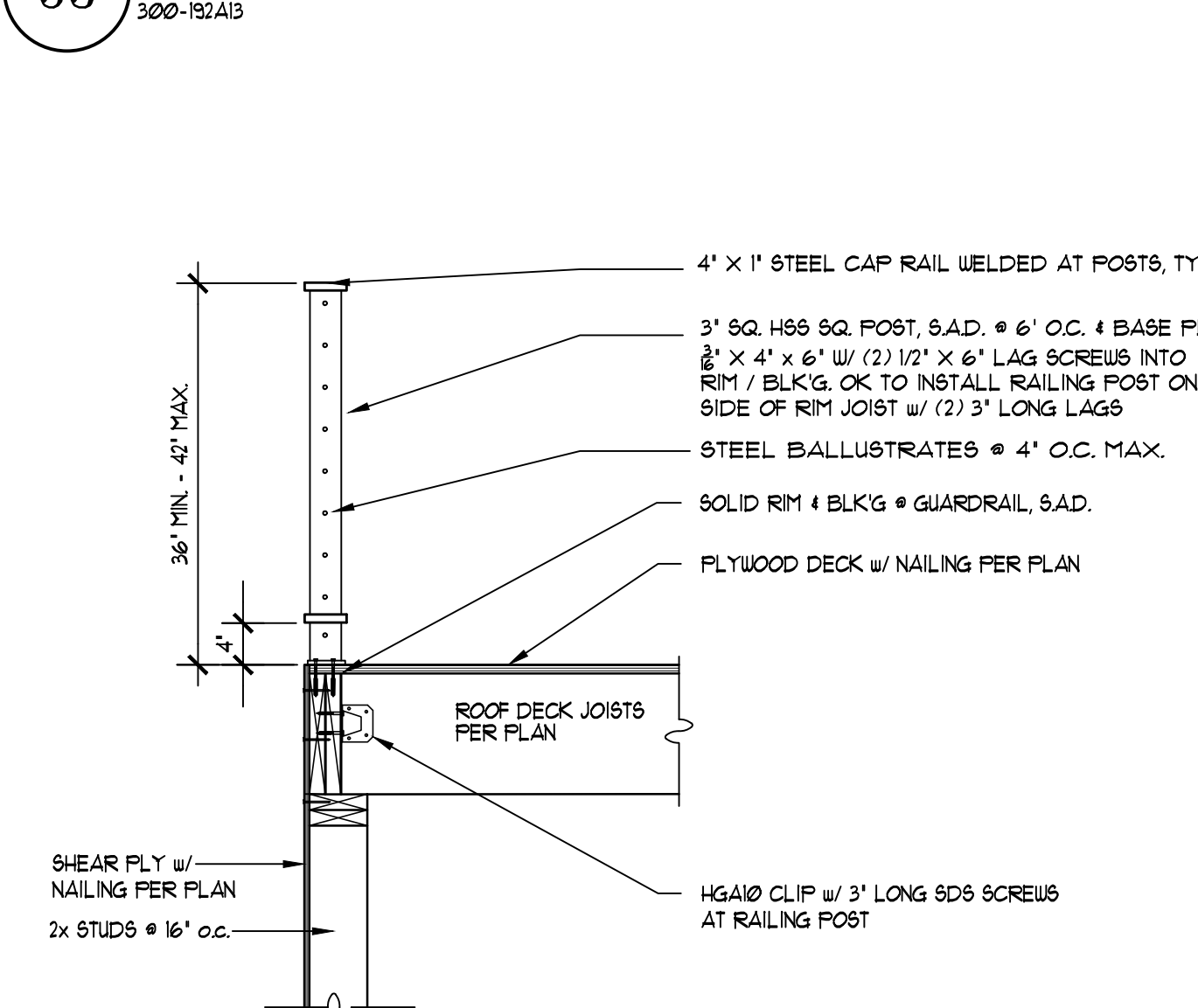
55 SHEAR TRANSFER AT ROOF
300-152A15



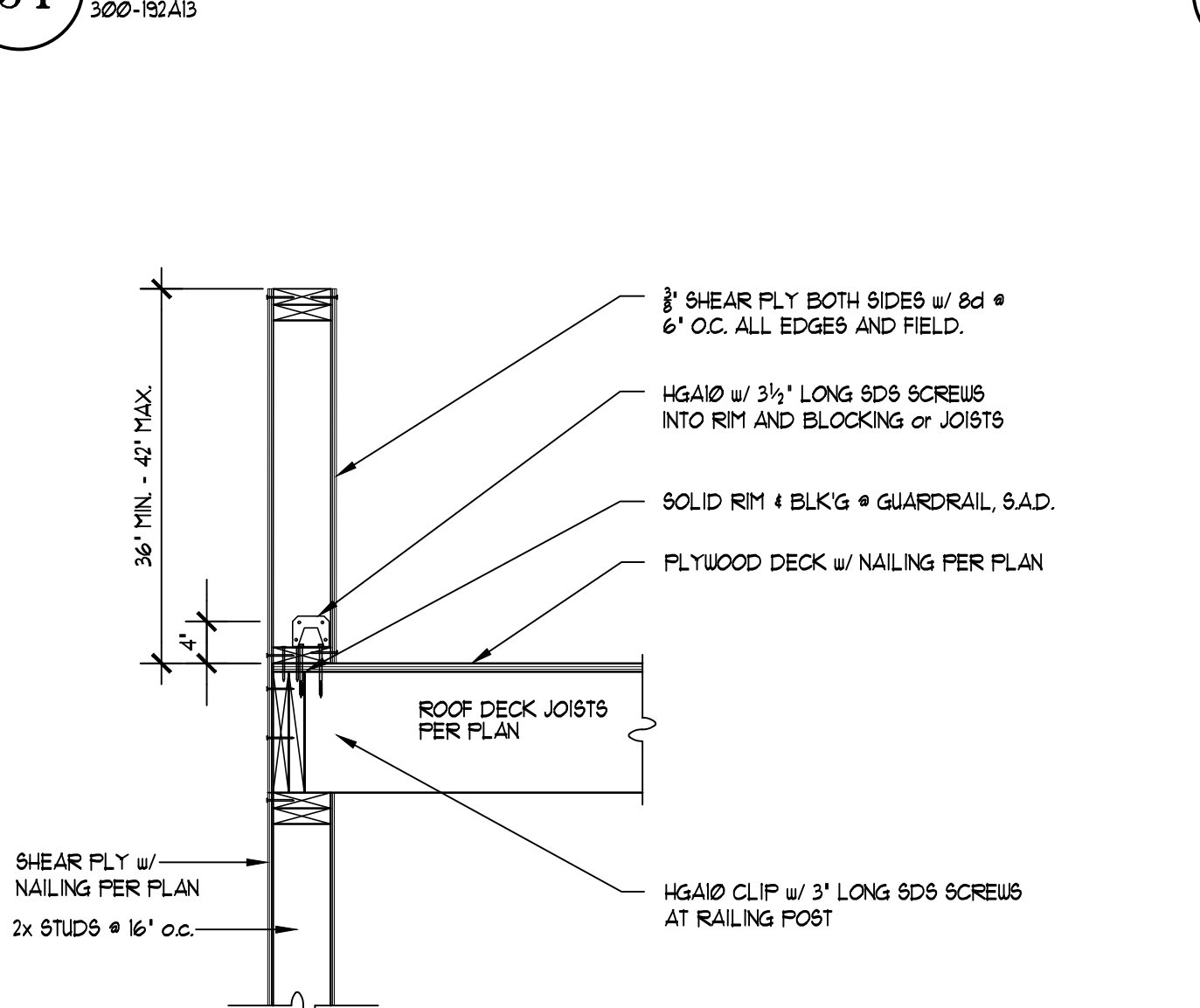
56 GUARD RAIL & SHEAR TRANSFER
200-011A SCALE: 3/4" = 1'-0"



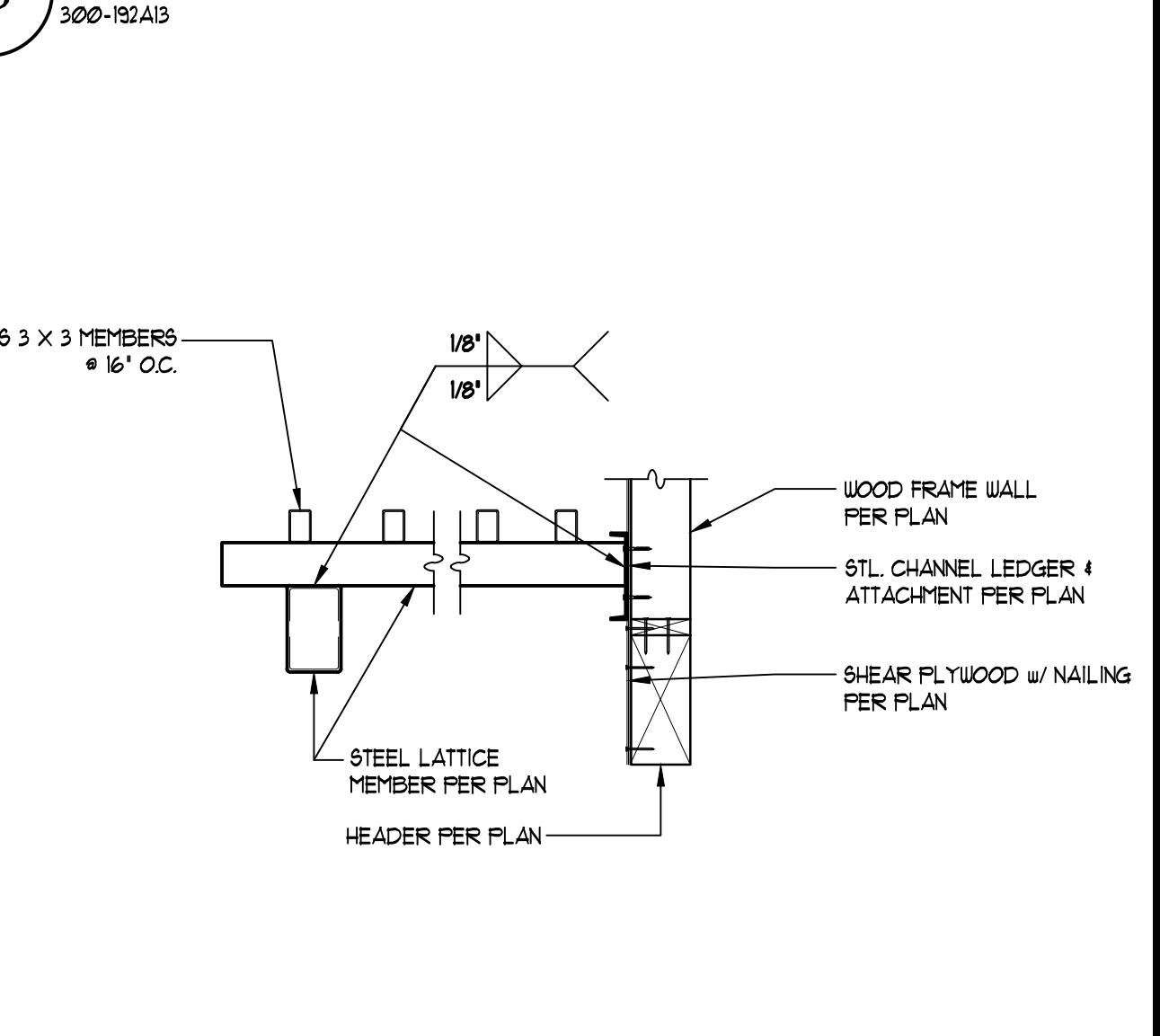
57 SHEAR TRANSFER @ ROOF DECK
200-007B1 SCALE: 3/4" = 1'-0"



58 GUARD RAIL & SHEAR TRANSFER
200-011A SCALE: 3/4" = 1'-0"



59 GUARD RAIL & SHEAR TRANSFER
200-011A SCALE: 3/4" = 1'-0"



60 STEEL COLUMN TO BEAM DETAIL
200-0161A2 SCALE: 1/2" = 1'-0"

REVISIONS **DATE**

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E-Mail: infinityeng@gmail.com

Infinity
ENGINEERING, INC.

STRUCTURAL DETAILS

NEW SINGLE FAMILY CUSTOM RESIDENCE
5708 VISTA TERRACE LANE
LOT 1, SPARKS RIDGE SUBD., UNIT 6
SPARKS, NV 89436
A.P.N. 518-692-01

DRAWN BY:
WA

JOB #:
21-1449

DATE:
5-14-2021

SCALE:
FOR JURISDICTION

PER DETAIL
APPROVAL

S3.3